

ACTIVITY DETERMINATION

Project No. BGYFH

Conflict of Interest¹

In this matter:

- 1. I have declared any possible conflict of interests (real, potential or perceived) to the Chief Executive Officer, Land & Housing Corporation.
- 2. I do not consider I have any personal interests that would affect my professional judgement.
- 3. I will inform the Chief Executive Officer, Land & Housing Corporation as soon as I become aware of a possible conflict of interest.

Signed.

Name...Emma Nicholson

Dated 8 September 2023

Having regard to the Determination Recommendation Report, the Statement of Compliance and the Review of Environmental Factors for this project addressing matters under Part 5 of the *Environmental Planning and Assessment Act 1979*, I determine that the activity proceed as described below and subject to the identified requirements set out in **Schedule 1**.

SITE IDENTIFICATION		
STREET ADDRESS		
Unit/Street No.	Street or property name	
26-30	Cutler Drive	
Suburb, town or locality		Postcode
Wyong, NSW		2259
Local Government Area(s)	Real property description (Lot and	DP)
Central Coast Council	Lots 23, 24 & 25 in DP 234632	

ACTIVITY DESCRIPTION

Demolition of 3 existing dwellings, associated structures, removal of trees and the construction of 12 independent seniors living units comprising 7 x two bedroom and 5 x one bedroom units, with 8 at-grade car parking spaces, associated landscaping and fencing, consolidation into single lot and creation of an easement to drain water.

^{1.} Conflict of interest includes actual and potential. A conflict of interest includes pecuniary i.e. financial interests to you or a related party or non-pecuniary i.e. benefits to relatives, friends, business associates and personal causes, etc. This includes "related persons" as defined in the Property, Stock and Business Agency Act 2002.

Signed....

Dated. 8 September 2023

Emma Nicholson
Acting Head of Policy and Innovation
Land and Housing Corporation

SCHEDULE 1

Recommended Identified Requirements

PART A - Standard Identified Requirements

THE DEVELOPMENT

The following Identified Requirements are to ensure that the **seniors housing** activity is carried out in accordance with the plans / documents and any amendments arising from the Review of Environmental Factors under Part 5 of the Environmental Planning & Assessment Act 1979, Section 171 of the Environmental Planning and Assessment Regulation 2021 and the requirements of State Environmental Planning Policy (Housing) 2021

1. The development shall be carried out substantially in accordance with the following plans / documents and as modified below by any of the undermentioned identified requirements:

TITLE / NAME:	DRAWING NO. / DOCUMENT REF	REVISION / ISSUE:	DATE [DD.MM.YYYY]:	PREPARED BY:			
Architectural - Appendix A							
Location Diagram	A00	-	24.01.2023	Barry Rush & Associates Pty Ltd			
Site Analysis Plan	A01	1	24.01.2023	Barry Rush & Associates Pty Ltd			
Site Plan	A02	Α	08.08.2023	Barry Rush & Associates Pty Ltd			
Ground floor plan	A03	ı	24.01.2023	Barry Rush & Associates Pty Ltd			
First Floor plan	A04	-	24.01.2023	Barry Rush & Associates Pty Ltd			
Roof Plan	A05	-	24.01.2023	Barry Rush & Associates Pty Ltd			
Elevations	A06	-	16.12.2022	Barry Rush & Associates Pty Ltd			
Sections Sheet 1	A07	-	16.12.2022	Barry Rush & Associates Pty Ltd			
Sections Sheet 2	A08	-	24.01.2023	Barry Rush & Associates Pty Ltd			
External Colour Schedule	A09	-	16.12.2022	Barry Rush & Associates Pty Ltd			
Demolition Plan	A10	-	16.12.2022	Barry Rush & Associates Pty Ltd			
Block Analysis Plan	A11	-	16.12.2022	Barry Rush & Associates Pty Ltd			
Shadow Diagrams Mid- Winter	A12	-	22.11.2022	Barry Rush & Associates Pty Ltd			
Views From Sun Diagrams	A13	-	22.11.2022	Barry Rush & Associates Pty Ltd			
Streetscape Perspective	A14	-	20.12.2022	Barry Rush & Associates Pty Ltd			
Areas of Excavation & Fill	A15	-	16.12.2022	Barry Rush & Associates Pty Ltd			
Landscape Plan – Appendix	В						
Landscape Plan	2658	D	09.08.2023	Barry Rush & Associates Pty Ltd			
Landscape Details and Specification	2658	С	24.01.2023	Barry Rush & Associates Pty Ltd			

Activity Determination – 26-30 Cutler Drive, Wyong NSW 2259

Civil Drawings – Appendix C	<u> </u>			
Cover Sheet & Notes	C1	D	02.08.2023	ACOR Consultants
Stormwater Management	C2	D	02.08.2023	ACOR Consultants
Plan	OL .	D	02.00.2020	7.0011 onloateding
Stormwater Management Details Sheet – Sheet no 1	C3	D	02.08.2023	ACOR Consultants
On Site Detention Report	C4	D	02.08.2023	ACOR Consultants
Erosion & Sediment Control Plan	C5	D	02.08.2023	ACOR Consultants
Erosion & Sediment Control Notes & Details	C6	D	02.08.2023	ACOR Consultants
Proposed Drainage Easement Plan	C7	D	02.08.2023	ACOR Consultants
Detail and Contour Survey -	- Appendix D		•	
Site Detail Survey Sheet 1	2104954	Α	5-7.11.2021	Indiya Geospatial
Site Detail Survey Sheet 2	2104954	А	5-7.11.2021	Indiya Geospatial
Site Detail Survey Sheet 3	2104954	Α	5-7.11.2021	Indiya Geospatial
Long Sections	2104954	А	5-7.11.2021	Indiya Geospatial
Detail & Contour Survey 6	220695	1	10.08.2022	TSS Total Surveying Solutions
Maple Circle, Wyong				
Sewer Report 6 Maple	6 Maple Cr,	003	-	Locate Scan & Survey
Circle, Wyong	Wyong			
Notification Plans – Append	lix E			
Coversheet	N01	-	31.01.2023	Barry Rush & Associates Pty Ltd
Site/Landscape Plan	N02	-	31.01.2023	Barry Rush & Associates Pty Ltd
Development Data	N03	-	31.01.2023	Barry Rush & Associates Pty Ltd
Elevations	N04	-	31.01.2023	Barry Rush & Associates Pty Ltd
Schedule of Finishes	N05	-	20.12.2022	Barry Rush & Associates Pty Ltd
Shadow Diagrams	N06	-	20.12.2022	Barry Rush & Associates Pty Ltd
Specialist Reports				
Access Report - Appendix G	-	-	21.11.2022	Accessibility Solutions
Arboricultural Impact Assessment – Appendix I	-	-	29.11.2022	Creative Planning Solutions
BASIX Certificate Appendix J	BASIX Certificate No 1361151M	-	20.12.2022	Building Sustainability Assessments – Gavin Chambers, Accreditation No DMN/13/1491
BCA Capability Statement for DA Submission - Appendix K	-	R00	09.12.2022	Technical Inner Sight
NatHERS Certificate – Appendix M	NatHERS Certificate No 0008330230	-	20.12.2022	Building Sustainability Assessments – Gavin Chambers, Accreditation No DMN/13/1491
Geotechnical Investigation and Acid Sulfate Soil Assessment - Appendix O	21/2865	-	October 2021	STS Geotechnics Pty Ltd
Waste Management Plan – Appendix Q	-	-	25.01.2023	Barry Rush and Associates Pty Ltd
Traffic Impact Assessment - Appendix R	-	-	October 2022	APEX Engineers Pty Ltd

- 2. All building work is to be undertaken in accordance with the National Construction Code and referenced Australian Standards.
- 3. All commitments listed in the BASIX certificate and stamped plans shall be implemented.
- 4. All construction documentation and building work are to be certified in accordance with Section 6.28 of the *Environmental Planning and Assessment Act 1979*.

5. The land the subject of this determination shall be consolidated into a single lot. The plan of consolidation shall be lodged at the NSW Land Registry Services and shall be registered prior to the occupation of the development. A copy of the registered plan shall be provided to the Land & Housing Corporation.

OPERATIONAL MATTERS

The following identified requirements relate to the use of the site and are to ensure that the activity and its operation do not interfere with the amenity of the surrounding area.

Stormwater Run-off

- 6. Stormwater shall be collected within the site and conveyed in a pipeline to the appropriate gutter or drain under the control of Central Coast Council substantially in accordance with the approved concept stormwater drainage plans.
- 7. Alterations to the natural surface contours or surface absorption characteristics of the site shall not impede, increase or divert natural surface water runoff so as to cause a nuisance to adjoining property owners.
- 8. All driveways shall be graded in such a manner as to provide continuous surface drainage flow paths to the appropriate points of discharge.
- 9. To prevent water from entering buildings, surface waters shall be collected and diverted clear of the buildings by a sub-surface / surface drainage system.

Vehicular Access & Parking

- 10. Concrete vehicular crossings and layback shall be provided at the entrances/exits to the property. The crossings and laybacks shall be constructed in accordance with the Central Coast Council's standard requirements for residential crossings. Council shall be provided with plans for the crossings and laybacks together with the payment of any council inspection fees.
- 11. Particular care shall be taken in the location of vehicular crossings and/or laybacks to avoid poles, pits etc. The cost of any necessary adjustments to utility mains and services associated with the construction of the laybacks/driveways shall be borne by the Land & Housing Corporation. Obsolete gutter laybacks shall be constructed as kerb in accordance with the Central Coast Council's standards.
 - Note: It is recommended that discussions be held with the relevant authorities before construction works commence.
- 12. Car parking spaces and driveways shall be constructed of concrete or other approved hard surface materials. The car parking spaces must be clear of obstructions and columns, permanently line marked and provided with adequate manoeuvring facilities. The design of these spaces must comply with AS 2890.1.

Site Works

- 13. All soil erosion and sediment control measures required to be put in place prior to the commencement of demolition / construction works shall be maintained during the entire period of the works and until all the disturbed areas are restored by turfing, paving or revegetation. Soil erosion and sediment control measures shall be designed in accordance with the guidelines set out in the Blue Book *Managing Urban Stormwater: Soils and Construction* (4th edition, Landcom, 2004).
- 14. An appropriately qualified person shall design any retaining walls or other methods necessary to prevent the movement of excavated or filled ground, including associated stormwater drainage measures.

Building Siting

15. All buildings shall be sited well clear of any easements affecting the site. The builder shall ascertain if any easements do exist and, and if they do, obtain full details of such prior to construction commencing.

Smoke Detection System(s)

- 16. Smoke detection systems shall be installed throughout the building(s) in accordance with requirements of Clause E2.2a of the Building Code of Australia. Detectors and alarms shall comply with AS 3786 and AS 1670 and must be:
 - i. be connected to a permanent 240V power supply; and
 - ii. provided with a battery backup to activate the alarm unit in the event of failure of the permanent power supply.

Site Soil Contamination

17. If the site is identified as being potentially affected by soil contamination, it shall be inspected by a suitably qualified person to identify any contaminated or hazardous material present. A proposal for remediation shall be prepared, which may include preparation of a Remedial Action Plan, and remediation shall be carried out in accordance with the proposal. A Validation Report, prepared in accordance with Environment Protection Authority requirements, shall be obtained from a qualified expert on completion of the remediation work to verify that the site is suitable for the intended residential use. A copy of the Validation Report shall be provided to the Land & Housing Corporation on completion of the remediation works.

Landscaping

- 18. Landscaping shall be carried out substantially in accordance with the approved Landscape Plan and maintained for a period of 12 months by the building contractor. Central Coast Council shall be consulted in relation to the planting of any street trees.
- 19. All scheduled plant stock shall be pre-ordered prior to commencement of construction or 3 months prior to the commencement of landscape construction works, whichever occurs sooner, for the supply to the site on time for installation. The builder shall provide written confirmation of the order to Central Coast Council and provide a copy to the Land & Housing Corporation.

Tree Removal

20. Removal of trees within the boundaries of the site is to be carried out in accordance with the trees shown for removal on the approved landscape plan and Arboricultural Impact Assessment report and no other trees shall be removed without further approval(s).

Fencing

21. All front fencing and gates shall be constructed wholly within the boundaries of the site. Any gates associated with the fencing shall swing inwards towards the site.

Provision of Letterbox Facilities

22. Suitable letterbox facilities shall be provided in accordance with Australia Post specifications.

Public Liability Insurance

23. A valid public liability insurance policy of at least \$10M shall be maintained throughout the demolition / construction works by the building contractor.

PRIOR TO ANY WORK COMMENCING ON THE SITE

The following Identified Requirements are to be complied with prior to any work commencing on the site, including demolition.

Disconnection of Services

- 24. All services that are required to be disconnected shall be appropriately disconnected and made safe prior to commencement of the demolition / construction works. The various service authorities shall be consulted regarding their requirements for the disconnection of services.
- 25. All existing services within the boundary to remain live shall be identified, pegged and made

Demolition

- 26. The builder shall notify the occupants of premises on either side, opposite and at the rear of the site a minimum of five (5) working days prior to demolition. Such notification shall be clearly written on an A4 size paper giving the date demolition will commence and be placed in the letterbox of every premise (including every unit in a multi-unit residential building or mixed use building). The demolition shall not commence prior to the date that is stated in the notice letter.
- 27. Prior to the demolition, a Work Plan shall be prepared by a competent person(s) in accordance with AS 2601 and shall be submitted to the Land & Housing Corporation. The Work Plan shall outline the identification of any hazardous materials (including surfaces coated with lead paint), method of demolition, the precautions to be employed to minimise any dust nuisance and the disposal methods for hazardous materials.
- 28. If buildings to be demolished are determined as, or suspected of, containing asbestos cement, a standard commercially manufactured sign containing the words 'DANGER ASBESTOS REMOVAL IN PROGRESS', and measuring not less than 400mm x 300mm, shall be erected in a prominent visible position on the site for the duration of the demolition works.

Note

Any buildings constructed before 1987 is assumed to contain asbestos.

Utilities Service Provider Notification

29. The demolition / construction plans shall be submitted to the appropriate water utility's office (e.g. Sydney Water office) to determine whether or not the development will affect the utility's sewer and water mains, stormwater drains and any easements.

Note

If the development complies with water utility's requirements, the plans will be stamped indicating that no further requirements are necessary.

Council Notification

30. Central Coast Council shall be advised by the building contractor in writing, of the date it is intended to commence work, including demolition. A minimum period of 5 working days notification shall be given.

Site Safety

- 31. A sign shall be erected in a prominent position on the site:
 - (a) showing the name, address and telephone number of the responsible Land & Housing Corporation officer for the work, and
 - (b) showing the name of the principal contractor (if any) and the telephone number on which that person may be contacted during and outside working hours, and
 - (c) stating that unauthorised entry to the site is prohibited.

The sign shall be maintained while the work is being carried out but shall be removed when the work has been completed.

Note:

This requirement does not apply in relation to building work that is carried out inside an existing building that does not affect the external walls of the building.

32. A minimum 1.8m high security fence or Class A / Class B (overhead) hoarding must be erected between the work site and any public place prior to demolition / construction. Access to the site shall be restricted to authorised persons only and the site shall be secured against unauthorised entry when demolition / construction work is not in progress or the site is otherwise unoccupied.

Note:

Approval from the relevant roads authority may be required under Section 138 of the Roads Act 1993 where a Class A or B hoarding encroaches onto the footpath of / or a public thoroughfare within a classified road.

33. Building and demolition materials must be stored wholly within the site and not on footpath or roadway.

Site Facilities

- 34. The following facilities shall be installed on the site:
 - (a) Toilet facilities shall be provided at the rate of 1 toilet for every 20 persons, or part thereof, employed at the site. Each toilet shall be a standard flushing toilet and shall be connected to a public sewer. If connection to a public sewer is not practicable, to an accredited sewerage management facility provided by the Central Coast Council or if this is also not practicable to some other council approved management facility.
 - (b) Adequate refuse disposal methods and builders storage facilities. Builders' wastes, materials or sheds shall not be placed on any property other than that to which this activity relates.
- 35. Access to the site shall only be provided via an all weather driveway on the property and shall not be provided from any other site.

Protection of Trees

36. Trees and other vegetation that are to be retained on site, within adjoining properties, and on the street shall be protected prior to the commencement of works and for the duration of the construction period in accordance with the General Tree Protection Specification provided in the Arboricultural Impact Assessment report.

Waste Management

37. A final Waste Management Plan shall be prepared and submitted to the Land & Housing Corporation by the building contractor prior to the commencement of demolition / construction. The plan shall detail the amount of waste material and the destination of all materials, recyclable and non-recyclable.

PRIOR TO ANY CONSTRUCTION WORK COMMENCING ON SITE

The following Identified Requirements are to be complied with prior to any construction works occurring on the site, excluding demolition.

Service Authority Clearances

38. A compliance certificate, or other evidence, shall be obtained from the relevant water utility provider (e.g. Central Coast Council Hunter Water, Sydney Water), confirming service availability prior to work commencing.

Note:

Payment of water and/or sewer service charges and/or a notice of requirements for works to be carried out during construction / prior to occupation may be applicable prior to issue of the compliance certificate.

- 39. A written clearance from an electricity supply authority stating that electrical services are available to the site, or that arrangements have been entered into for the provision of services to the site, shall be obtained prior to work commencing.
- 40. A certificate from an approved telecommunications carrier certifying that satisfactory arrangements have been made for the provision of underground telephone services, to the site and to each dwelling, shall be obtained prior to work commencing.
- 41. Where the site is to be connected to reticulated gas, a certificate from an approved gas carrier certifying that satisfactory arrangements have been made for the provision of underground gas services, to the site and to each dwelling, shall be obtained prior to work commencing.

Stormwater Disposal

- 42. Detailed stormwater drainage plan(s), substantially in accordance with the approved concept stormwater drainage plans(s), shall be prepared and submitted to the Land & Housing Corporation. Any on-site detention system shall be designed in accordance with the relevant catchment authority's requirements and the Central Coast Council's drainage code.
- 43. Where a drainage easement is required, proof of lodgement of the plan of the drainage easement at the NSW Land Registry Services shall be submitted to the Land & Housing Corporation prior to commencement of works. Registration of the plan of easement shall be completed prior to occupation of the development and a copy of the registered plan shall be provided to the Land & Housing Corporation.

DURING DEMOLITION AND CONSTRUCTION WORKS

The following Identified Requirements are to be complied with whilst demolition and construction works are occurring on the site.

Landfill

- 44. Where site filling is required, a minimum of 95% standard compacting shall be achieved and certified by a NATA registered Soils Laboratory.
- 45. Land fill materials must satisfy the following requirements:
 - i. Shall be Virgin Excavated Natural Matter (VENM);
 - ii. Shall be free of slag and hazardous, contaminated, putrescible, toxic or radio-active matter; and
 - iii. Shall be free of industrial waste and building debris.

Heritage

- 46. Historic and indigenous archaeological sites and relics are protected under the *Heritage Act* 1977 and *National Parks and Wildlife Act* 1974, respectively. Should any relics be uncovered during the course of the approved works, work must cease immediately in the affected area. Subsequently, in cases where historical items or Indigenous items have been uncovered, the Department of Planning and Environment must be contacted.
- 47. All workers / contractors on the site shall be informed of their obligations, under the Heritage Act and *National Parks and Wildlife Act 1974*, that it is illegal to disturb, damage or destroy a relic without the prior approval of the Department of Planning and Environment.

Demolition

- 48. Any existing structures identified for demolition shall be demolished prior to commencement of the construction of the activity.
- 49. Demolition shall be carried out in accordance with the appropriate provisions of AS 2601.
- 50. Where materials containing asbestos are to be removed, demolition shall be carried out by a licensed contractor(s) that has a current SafeWork NSW accreditation in asbestos removal.
- 51. Removal of asbestos-based thermal, or acoustic insulation such as sprayed asbestos and asbestos-based lagging and including friable asbestos boards, shall be carried out in accordance with the National Occupational Health and Safety Commission's Code of Practice for the Safe Removal of Asbestos, 2nd Edition [NOHSC:2002 (2005)].
- 52. Hazardous and intractable waste, including all asbestos laden waste arising from the demolition process shall be removed and disposed of in accordance with the requirements of SafeWork NSW and the Department of Planning and Environment.
- 53. Documentary evidence, in the form of tip receipts from an approved Waste Management Facility, shall be obtained by the demolition contractor and submitted to the Land & Housing Corporation demonstrating the appropriate disposal of the asbestos waste.
- 54. Demolition procedures shall maximise the reuse and recycling of demolished materials in order to reduce the environmental impacts of waste disposal.
- 55. During demolition, the public footpath and the public road shall not be obstructed by any vehicles. The public road and footpath shall be swept (not hosed) clean of any material, including clay, soil and sand.
- 56. All vehicles leaving the site with demolition materials shall have their loads covered and vehicles shall not track soil and other material onto the public roads and footpaths. The footpath shall be suitably protected against damage when plant and vehicles access the site. All loading of vehicles with demolished materials shall occur on site.

Survey Reports

57. Survey reports shall be submitted by the building contractor to the Land & Housing Corporation prior to the placement of the footings / slab and on completion of the dwellings to verify the correct position of the structures in relation to the allotment boundaries.

Hours of Demolition / Construction / Civil Work

58. Demolition / construction / Demolition / construction / civil work shall only occur on the site between the hours of 7.00am to 5.00pm Monday to Saturday with no work permitted on Sundays or public holidays.

Excavation & Backfilling

59. All excavations and backfilling associated with the demolition or erection of buildings shall be executed safely and in accordance with appropriate professional standards. All such work shall be guarded and protected to prevent it from being dangerous to life or property.

Pollution Control

- 60. Any noise generated during the carrying out of the activity shall not exceed the limits specified in the July 2009 Interim Construction Noise Guidelines published by the former Department of Environment and Climate Change.
- 61. No fires shall be lit, or waste materials burnt, on the site.
- 62. No washing of concrete forms or trucks shall occur on the site.
- 63. Any contamination / spills on the site during construction works shall be actively managed and reported immediately to the appropriate regulatory authorities to minimise any potential damage to the environment.
- 64. Dust generation during demolition / construction shall be controlled using regular control measures such as on site watering or damp cloth fences.
- 65. All vehicles transporting loose materials and travelling on public roads shall be secured (ie closed tail gate and covered) to minimise dust generation.
- 66. Non-recyclable waste and containers shall be regularly collected and disposed of at a licensed landfill or other disposal site in accordance with details set out in the final Waste Management Plan.

Impact of Construction Works

- 67. The Land & Housing Corporation shall bear the cost of any necessary adjustments to utility mains and services.
- 68. Care shall be taken to prevent any damage to adjoining properties. The building contractor shall be liable to pay compensation to any adjoining owner if, due to demolition/construction works, damage is caused to such adjoining property.

Termite Protection

69. To protect buildings from subterranean termite, termite barriers installed in accordance with AS 3660.1, shall be placed on the underside and in penetrations of the concrete slab floor.

In addition, a durable notice must be permanently fixed inside the meter box indicating:

- (a) the method of protection.
- (b) the date of installation of the system.
- (c) where a chemical barrier is used, its life expectancy as listed on the National Registration Authority label.
- (d) the need to maintain and inspect the system on a regular basis.

PRIOR TO OCCUPATION OF THE DEVELOPMENT

The following Identified Requirements are to be complied with prior to the occupation of the development.

General

70. The occupation of the development shall not commence until all the Identified Requirements of this determination have been complied with.

Council Infrastructure Damage

71. The cost of repairing any damage caused to the Central Coast Council's assets in the vicinity of the site as a result of demolition / construction works shall be met in full by the building contractor.

Stormwater Drainage

- 72. Prior to occupation, a Work As Executed Plan shall be prepared by the building contractor clearly showing all aspects of the constructed stormwater drainage system, including any onsite detention system. The plan shall demonstrate general compliance with the approved concept stormwater drainage plan(s) and shall include:
 - sufficient levels and dimensions to verify the constructed storage volumes; and
 - location and surface levels of all pits; and
 - invert levels of the internal drainage lines, orifice plates fitted and levels within the outlet control pits; and
 - finished floor levels of all structures; and
 - verification that any required trash screens have been installed; and
 - locations and levels of any overland flow paths; and
 - verification that any drainage lines are located wholly within easements, where applicable.

The Work-As-Executed Plan information shall be shown on the final civil works drawings.

A positive covenant and restriction-as-to-user shall be placed over the onsite detention system in accordance with the Central Coast Council's on-site detention policy to ensure that the system will be adequately maintained. The positive covenant and restriction-as-to-user shall be registered at NSW Land Registry Services prior to occupation. A copy of the registered restriction-as-to-user shall be provided to the Land & Housing Corporation and Central Coast Council.

PART B - Additional Identified Requirements

Specific Requirements for Seniors Housing

73. The independent living units shall comply with the accessibility and useability standards referenced in section 85 and set out in Schedule 4 of State Environmental Planning Policy (Housing) 2021.

Note:

This requirement does not apply to the provisions set out under sections 2, 7-13 and 15-20 of Schedule 4 for an independent living unit, or part of such a unit, that is located above the ground floor.

- 74. Only the following kinds of people shall be accommodated in the approved development:
 - (a) seniors or people who have a disability; or
 - (b) people who live within the same household with seniors or people who have a disability; or
 - (c) staff employed to assist in the administration and provision of services to the seniors housing development.

Note:

It should be noted that 'seniors', as defined in the Housing SEPP, are any of the following:

- (a) people aged 60 or more years.
- (b) people who are resident at a facility at which residential care (within the meaning of the Aged Care Act 1997 of the Commonwealth) is provided, and
- (c) people who have been assessed as being eligible to occupy housing for aged persons provided by a social housing provider.

A restriction as to user shall be registered against the title of the property, prior to occupation, in accordance with Section 88E of the Conveyancing Act 1919 limiting the use of any accommodation to the kinds of people referred to above and that the dwellings cannot be subdivided.

- 75. Pathway lighting shall be designed to provide a minimum of 20 lux at ground level and be located to avoid glare for pedestrians and adjacent dwellings.
- 76. Access to, and within, the site shall be provided in accordance with AS 1428.1 so that a person using a wheelchair can use common areas and common facilities associated with the activity.

Note:

The responsible officer in the Council for the area shall be contacted regarding Council's specifications and any necessary approvals.

77. Entry doors to units shall to be provided with door viewers to enable residents to view approaches to their units without the need to open the door.

Site Specific Requirements

78. Provide a 1.2m wide connecting footpath on the southern side of Cutler Drive from the refuge crossing to the bus stop and kerb ramps at the bus stops adjacent to the site.

Note:

The responsible officer at the Central Coast Council shall be contacted regarding Council's specifications and any necessary approvals.

79. Standard kerb ramps need to be installed adjacent to each bus stop to satisfy clauses 93 (3) and 104 of the Housing SEPP.

Activity Determination – 26-30 Cutler Drive, Wyong NSW 2259

ADVISORY NOTES

- i. Approval of this development activity does not imply or infer compliance with Section 23 of the Disability Discrimination Act 1992. Refer to AS 1428.1 and the Building Code of Australia for detailed guidance.
- ii. Information regarding the location of underground services may be obtained from Dial Before You Dig at www.1100.com.au or by dialing 1100.



Project No. BGYFH

Decision Statement

SITE IDENTIFICATION	
STREET ADDRESS	
Unit/Street No.	Street or property name
26-30	Cutler Drive
Suburb, town or locality	Postcode
Wyong, NSW	2259
Local Government Area(s)	Real property description (Lot and DP)
Central Coast Council	Lots 23, 24 & 25 in DP 234632

ACTIVITY DESCRIPTION

Demolition of 3 existing dwellings, associated structures, removal of trees and the construction of 12 independent seniors living units comprising $7 \times 10^{12} \times 10^$

The Land & Housing Corporation (LAHC) has proposed the above activity under the provisions of *State Environmental Planning Policy (Housing)* 2021 (Housing SEPP) which requires determination under Part 5 of the *Environmental Planning & Assessment Act* 1979 (EP&A Act). This Decision Statement relates to the Review of Environmental Factors (REF) for the above activity prepared under Part 5 of the EP&A Act and the *Environmental Planning and Assessment Regulation* 2021.

Based on the REF document and supporting documentation, including advice from Central Coast Council a decision to proceed with the proposed activity has been made. This decision included consideration of the following:

Significant Impact on the Environment

- The proposed activity is not likely to have a significant impact on the environment and therefore an EIS is not required.
- The proposed activity will not be carried out in a declared area of outstanding biodiversity value and is not likely to significantly affect threatened species, populations or ecological communities, or their habitats or impact biodiversity values, meaning a SIS and/or BDAR is not required.

Reasons for the Decision

- Following an assessment of the proposed activity and associated environmental impacts within
 the REF document it was decided that the proposed seniors housing have economic and social
 benefits and any minor short-term impacts on the environment or surrounding properties can
 be appropriately mitigated.
- The proposed seniors housing will assist LAHC in providing new, fit for purpose housing in the Central Coast area which will assist in addressing the existing and growing demand for accommodation in this local government area.

Decision Statement: 26-30 Cutler Drive, Wyong, NSW 2259 - Lots 23, 24 & 25 in DP 234632

Mitigation Measures

Mitigation measures are required to minimise or manage environmental impacts and are
detailed throughout the REF and specifically within Section 8. All mitigation measures are
detailed as Identified Requirements within the Activity Determination. Additional mitigation
measures, detailed in the Activity Determination have been imposed to minimise the impact
on the surrounding environment, ensure appropriate site safety and ensure legislative
compliance.

Signed...

Dated 8 September 2023

Emma Nicholson Acting Head of Policy and Innovation Land and Housing Corporation Department of Planning & Environment

ARCHITECTURAL

COVER PAGE

DRAWING SCHEDULE

DA PLANS

LEGEND

AB ADJUSTABLE BENCH
BOL BOLLARD
BSN BASIN
BCH BENCH
BOE BRICK ON EDGE
BR BROOM CUPBOARD
CC1 CONCRETE COLOUR 1
CC2 CONCRETE COLOUR 2
CL CLOTHES LINE

CL CLOTHES LINE
CMR COLORBOND METAL ROOFING

CPB CUPBOAR
CPT CARPET

CONCRETE - STEEL TROWEL FINISH

D DECK

DP DOWNPIPE
EX. GL. EXISTING GROUNDLINE
FR REFRIGERATOR LOCATION
F1 FENCE 1200mm HIGH METAL SLAT
F2 FENCE 1800mm COLORBOND FENCE
F3 FENCE 1500 HIGH SLATTED METAL

FB1 FACE BRICK WORK TYPE 1
FB2 FACE BRICK WORK TYPE 2

FC PAINTED FLUSH FINISH FIBRE CEMENT SHEET

FCL FINISHED CEILING LEVEL FFL FINISHED FLOOR LEVEL

FG FIXED GLASS

G GATE
G&DP GUTTER & DOWNPIPE

HWU HOT WATER UNIT GAS RECESSED IN WALL

LB LETTERBOXES - RECESSED INTO WALL

LN LINEN CUPBOARD
MC1 METAL CLADDING - TYPE 1

MC2 METAL CLADDING - TYPE 2
MC3 METAL CLADDING - TYPE 3
MC4 METAL CLADDING - TYPE 4
MDR METAL DECK ROOF

P PANTRY
POS PRIVATE OPEN SPACE

PR1 PAINTED RENDER - COLOUR 1
PR2 PAINTED RENDER - COLOUR 2

PS PRIVACY SCREEN 1500mm HIGH METAL SLATS

RL RELATIVE LEVEL
R WARDROBE
RWT RAINWATER TANK
SWP STORMWATER PIT
T LAUNDRY TUB
TOW TOP OF WALL
V VANITY
WA WINDOW AWNING
WC TOILET SUITE
WM WASHING MACHINE
WO WALL OVEN

SENIORS HOUSING DEVELOPMENT

26-30 CUTLER DRIVE, WYONG Lots 23, 24 & 25 in DP 234632



LOCATION DIAGRAM



					SOLAR A	CCESS
Unit Number	Type*	Beds	Area* (m²)	POS*	LIVING	POS
1	Ground	2	78	60	6 hr	6 hr
2	First	2	78	15	6 hr	6 hr
3	Ground	2	73	30	0 hr	2 hr
4	First	2	73	12	0 hr + SK*	2 hr
5	Ground	2	79	119	6 hr	6 hr
6	First	2	79	19	6 hr	6 hr
7	Ground	1	58	25	4 hr	4 hr
8	First	1	58	10	4 hr	4 hr
9	Ground	1	58	25	4 hr	4 hr
10	First	1	58	10	4hr	4 hr
11	First	2	79	18	4 hr	4 hr
12	First	1	57	10	0 hr	1 hr

SK* Ventillating Highlight Windows



PHOTOMONTAGE

HEIGHT FSR PARKIN

	, ,,,,	
SITE ANALYSIS PLAN	A01	-
SITE PLAN	A02	Α
GROUND FLOOR PLAN	A03	-
FIRST FLOOR PLAN	A04	-
ROOF PLAN	A05	-
ELEVATIONS	A06	-
SECTIONS	A07	-
SECTIONS 2	A08	-
FINISHES SCHEDULE	A09	-
DEMOLITION PLAN	A10	-
BLOCK ANALYSIS PLAN	A11	-
SHADOW DIAGRAMS MID WINTER	A12	-
VIEWS FROM SUN DIAGRAM	A13	-
STREET PERSPECTIVE	A14	-
AREAS OF EXCAVATION & FILL	A15	-
CIVIL		
COVER SHEET & NOTES	C1	В
STORMWATER MANAGEMENT PLAN	C2	В
STORMWATER MANAGEMENT DETAILS SHEET No.1	C3	В
ON SITE DETENTION REPORT	C4	В
EROSION AND SEDIMENT CONTROL PLAN	C5	В
EROSION & SEDIMENT CONTROL NOTES & DETAILS	C6	В
PROPOSED DRAINAGE EASMENT PLAN	C7	В
THOT GOLD DIVINIVIOL LINOMEINT I LINIV	O1	
LANDOGADE		
LANDSCAPE	4.05.0	0
	1 OF 2	С
LANDSCAPE DETAILS & SPECIFICATION LA	2 OF 2	С
SURVEY		
BY: INDIYA GEOSPATIAL		

REFERENCE No

DEVELOPMENT DATA

POS* - private open space

Job Reference	BGYFH
Locality / Suburb	Wyong
Street Address	26 - 30 Cutler Drive
Lot & DP	Lots 23, 24 & 25 in DP 234632
Site Area	1688 m²
Existing Lots	3
Proposed GFA	1004 m²
No. of Dwellings	12 Dwellings (5 x 1 Bed+7x 2 Bed)

SITE DETAIL SURVEY #30 CUTLER DRIVE WYONG

SITE DETAIL SURVEY #28 CUTLER DRIVE WYONG

SITE DETAIL SURVEY #26 CUTLER DRIVE WYONG LONG SECTIONS #26-30 CUTLER DRIVE WYONG

DATE OF SURVEY: 5-7/11/2021

LAHC* - development data for LAHC new housing supply. For details refer to Current version of LAHC Design Requirements.

GFA* - gross floor area calculated as per relevant Planning Instrument
AREA* - dwelling floor area includes internal walls but excludes external walls

	Control		Requirement	Proposed
HEIGHT	Housing SEPP Central Coast Council LEP		9.5m 10.0m	7.8m
FSR	Housing SEPF)	0.5:1	0.59:1 (1004m²)
PARKING	Accessible		1bed(5) x 0.4 = 2 2bed(7) x 0.5 = 4	8 car spaces inclusive of 2
	Housing SEPP CI 108	accessible spaces	1 per 5 dwellings = 2.4	accessible spaces
SETBACK(s)	Central Coast	Front	7.5m	9.5m average
SET DACK(S)	Council DCP	Side	3m (fire separation)	3m
	Rear		4.5m	6m 5m to balconies
LANDSCAPING	Housing Seniors SEPP		35 m² per Dwelling = 420 m²	634 m²
DEEP SOIL	Housing Seniors SEPP Seniors Seniors Seniors		15% = 255 m²	27% = 470 m ² 57% = 267 m ² at rear
SOLAR ACCESS			70% for 2hrs in Mid-Winter = 9	75% = 9



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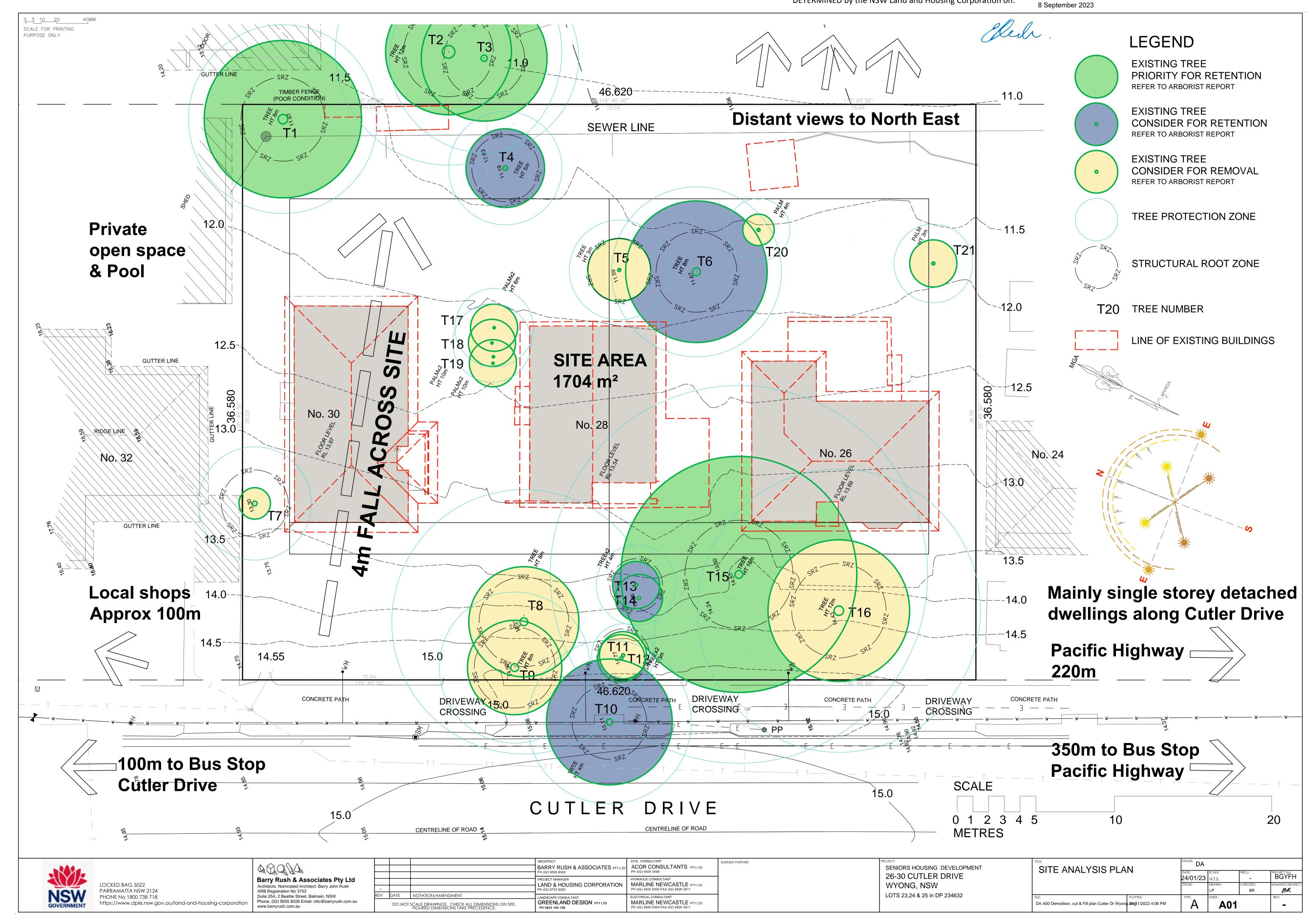
Barry Rush & Associates Pty Ltd
Architects. Nominated Architect: Barry John Rush
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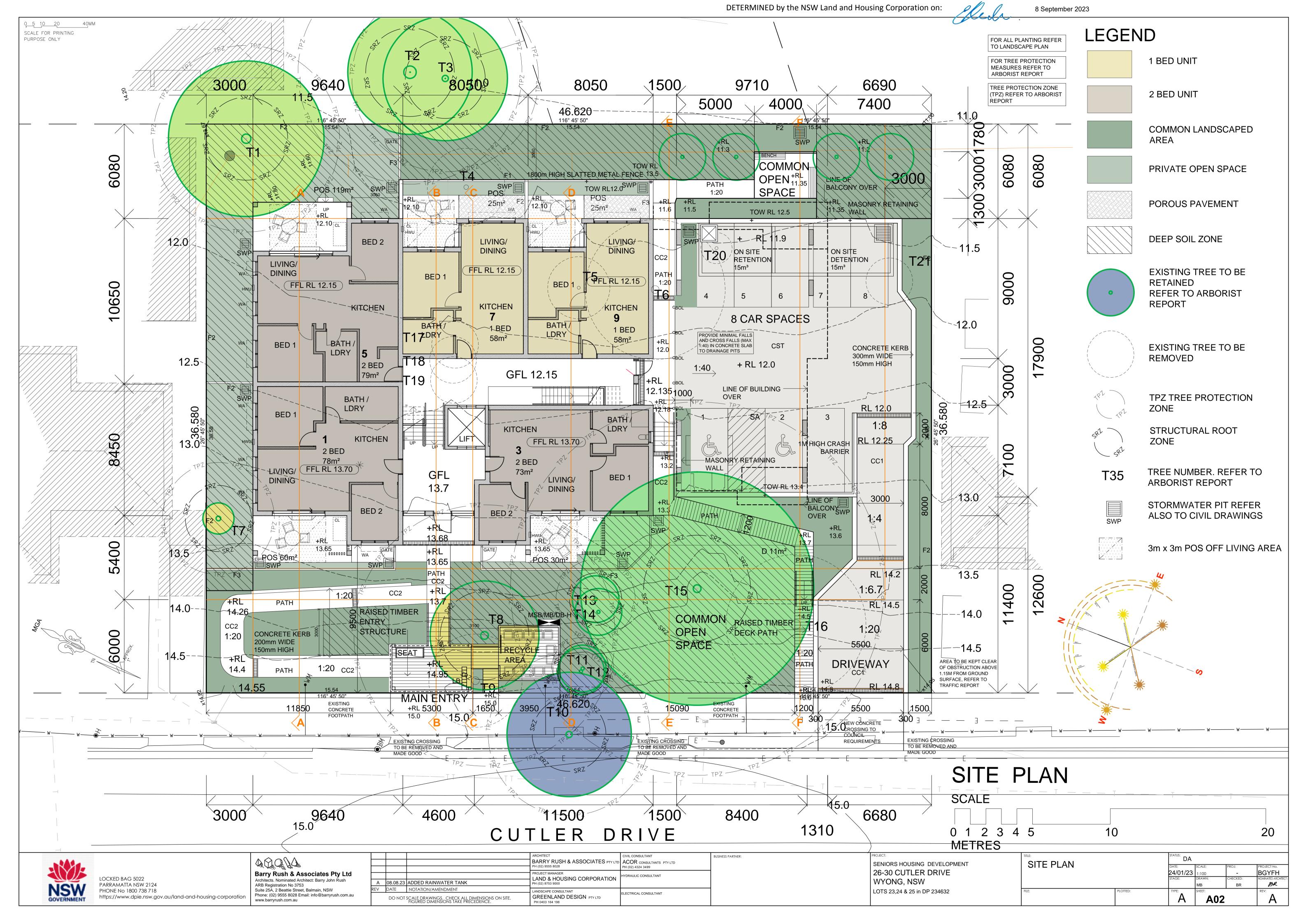
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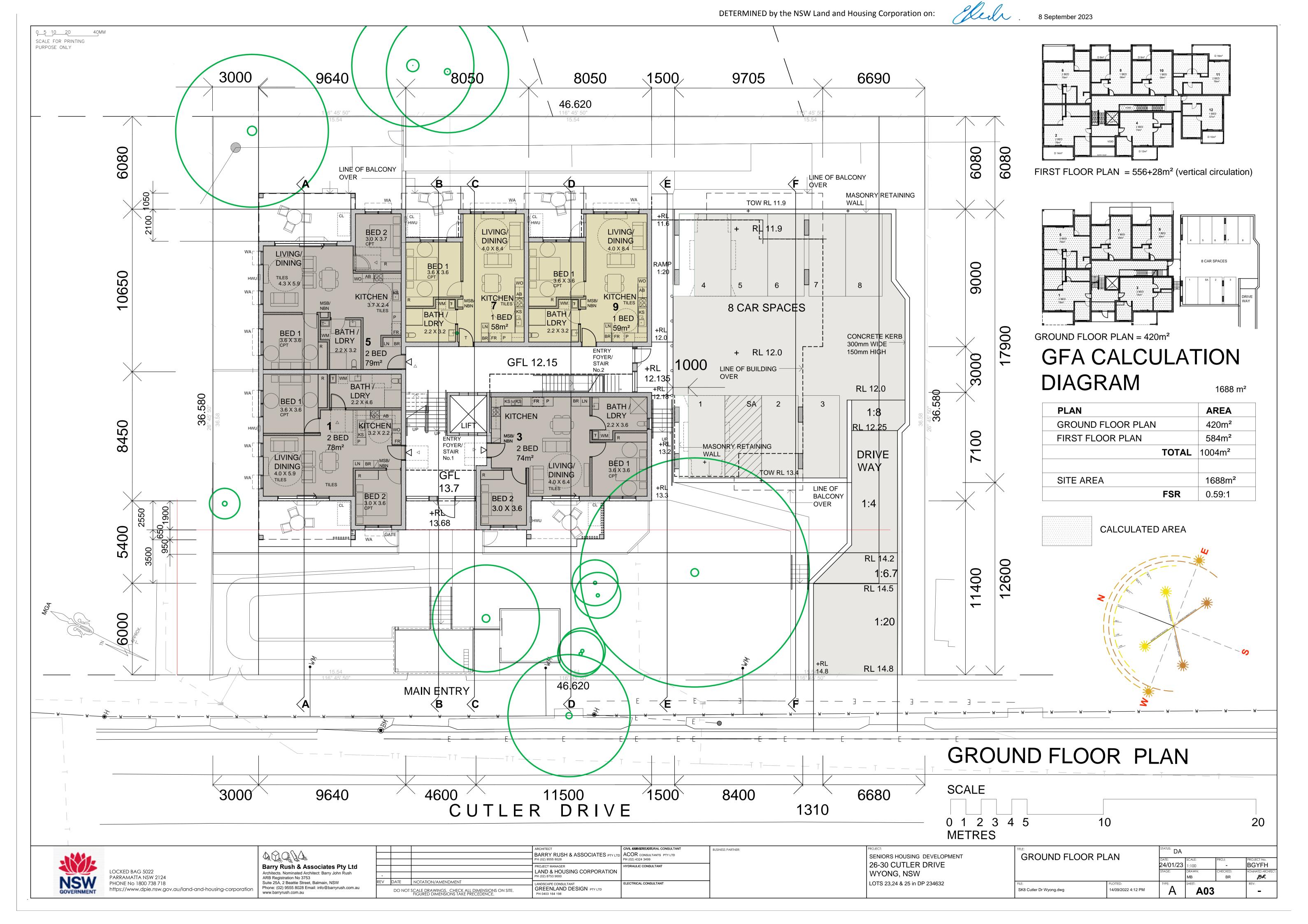
			ARCHITECT	CIVIL CONSULTANT	BUSINESS PARTN
			BARRY RUSH & ASSOCIATES PTY LTD PH (02) 9555 8028	ACOR CONSULTANTS PTY LTD PH (02) 4324 3499	
			· '	(*)	
			PROJECT MANAGER	HYDRAULIC CONSULTANT	
4	08.08.23	UPDATED DRAWING REVISIONS	LAND & HOUSING CORPORATION PH (02) 8753 9000		
/	DATE	NOTATION/AMENDMENT	LANDSCAPE CONSULTANT	ELECTRICAL CONSULTANT	
	DO NOT	SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.	GREENLAND DESIGN PTY LTD PH 0403 164 198		
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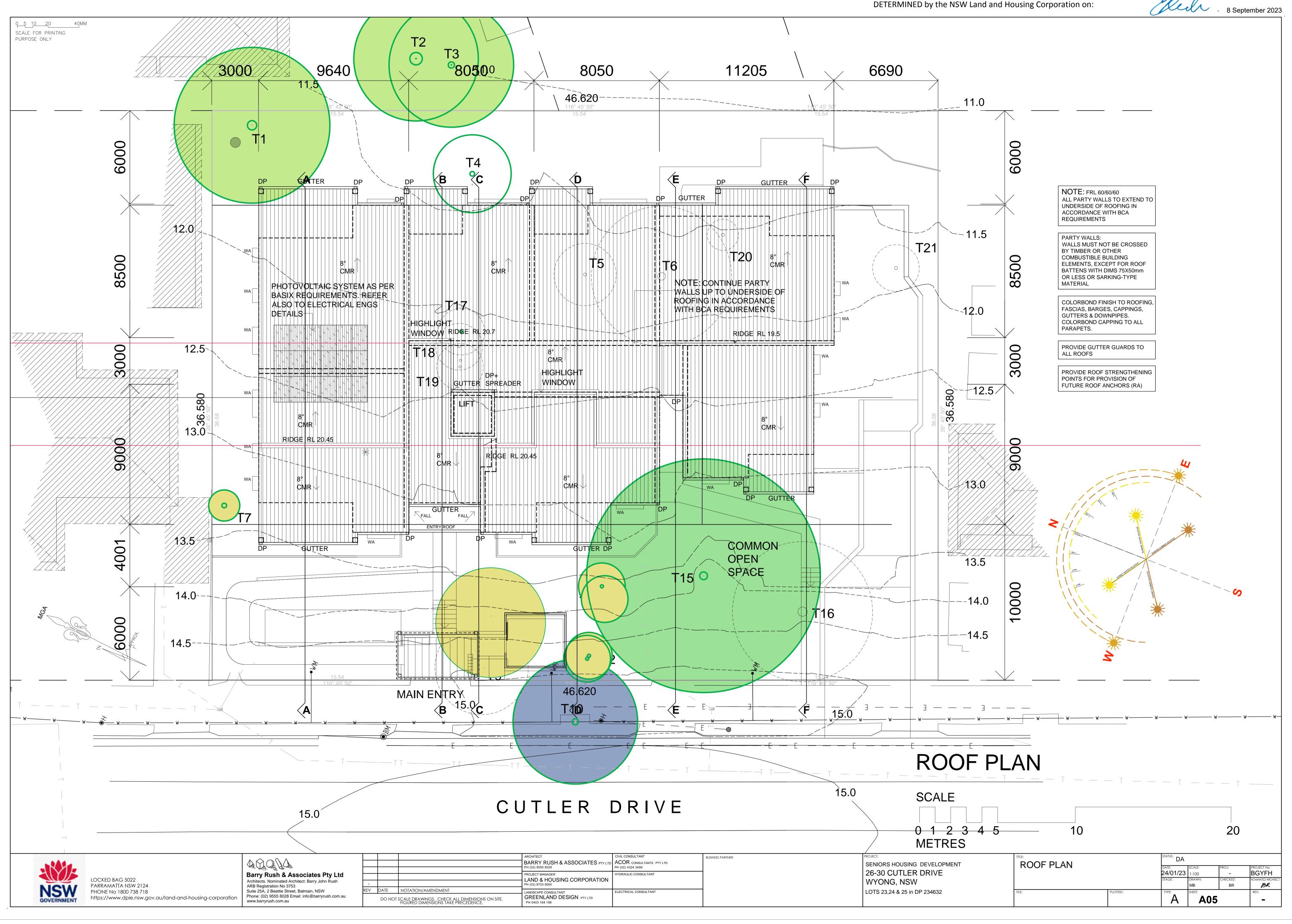
PROJECT:
SENIORS HOUSING DEVELOPMENT
26-30 CUTLER DRIVE
WYONG, NSW
LOTS 23,24 & 25 in DP 234632

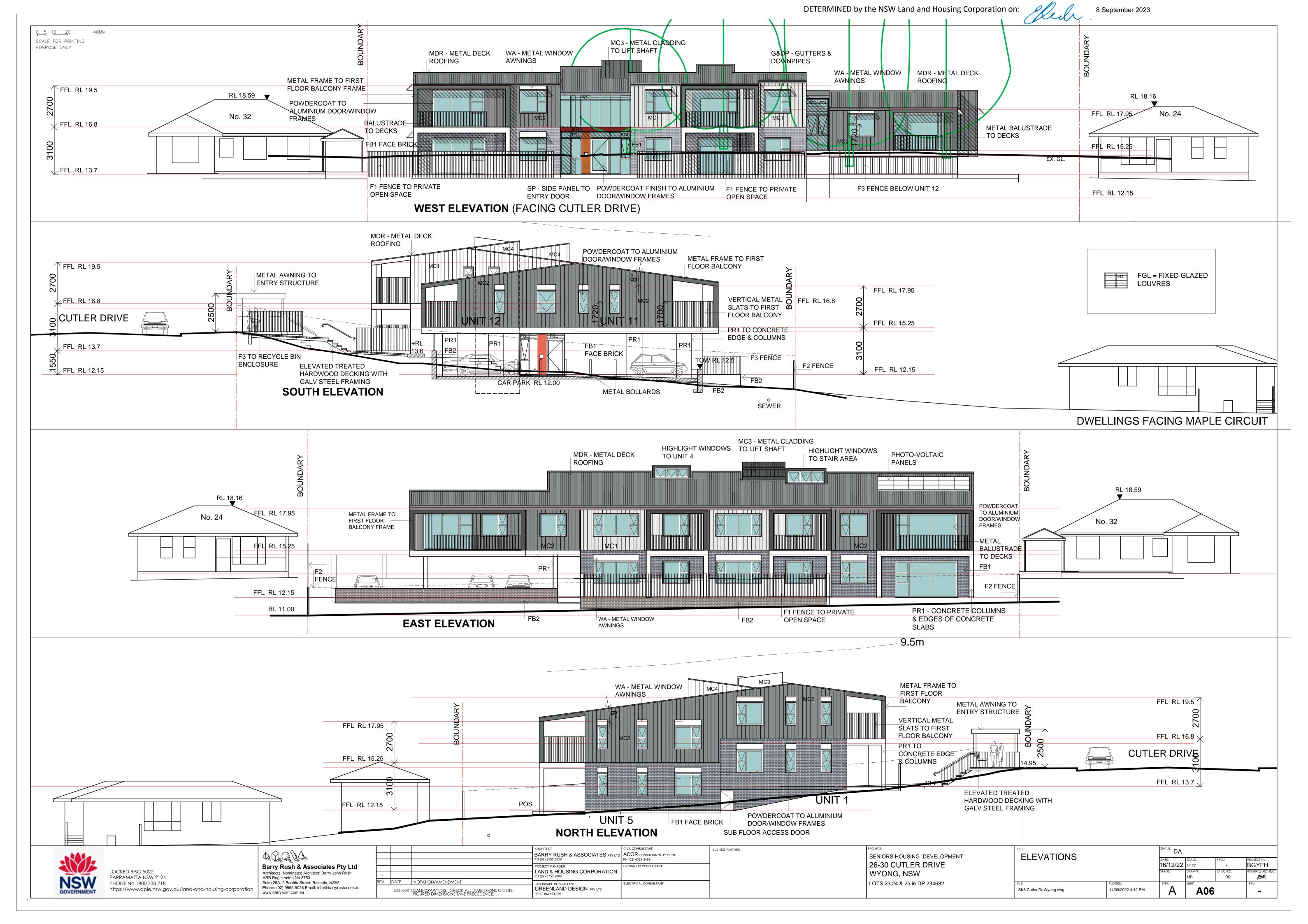
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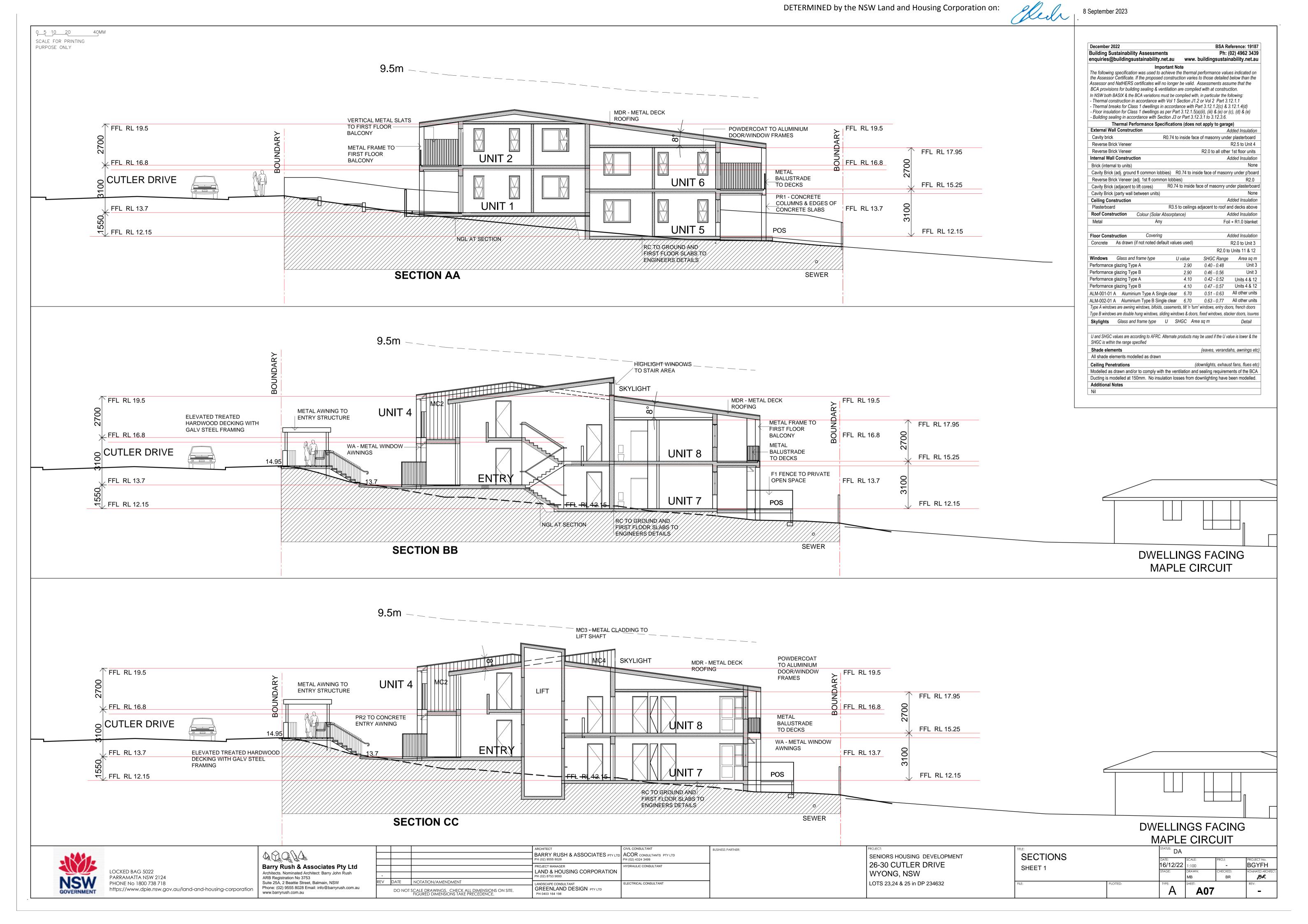


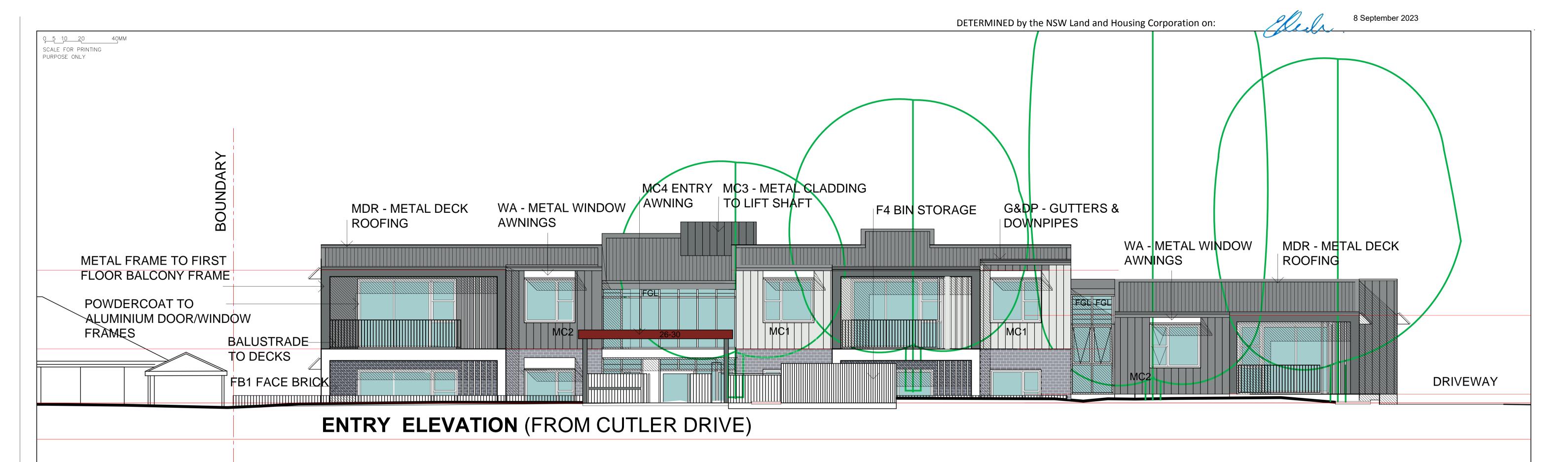












FINISHES SCHEDULE

CODE	LOCATION		DESCRIPTION	COLOUR
MDR	ROOFING FASCIA, RIDGE CAPPING FLASHINGS	METAL DECK ROOFING COLORBOND		BASALT
G & DP	GUTTERS & DOWNPIPES		METAL COLORBOND	
FRAME	BALCONY FRAMES, & ENTRY STRUCTURE AT CUTLER DRIVE		GALV STEEL FRAME WITH METAL COLORBOND CLADDING	
MC1	FIRST FLOOR WALL CLADDING		METAL COLORBOND STANDING SEAM WALL CLADDING	SURFMIST
MC2	FIRST FLOOR WALL CLADDING		METAL COLORBOND STANDING SEAM WALL CLADDING	BASALT
МСЗ	LIFT OVERUN WALL CLADDING		METAL COLORBOND STANDING SEAM WALL CLADDING	MONUMENT
MC4	SKYLIGHT WALL CLADDING		METAL COLORBOND STANDING SEAM WALL CLADDING	BASALT
BAL	FIRST FLOOR DECKS BALUSTRADE VERTICAL BARS		POWDERCOAT FINISH TO GALV STEEL - SMOOTH FINISH	POWDERCOAT "WHITE"
MC4	MAIN FRONT ENTRY AWNING FASCIA & SOFFIT		POWDERCOAT FINISH TO GALV STEEL - SMOOTH FINISH	POWDERCOAT "MANOR RED"
WA	WINDOW AWNINGS		POWDERCOAT FINISH TO GALV STEEL - SMOOTH FINISH	POWDERCOAT "WHITE"
SP	SIDE PANEL TO MAIN ENTRY DOORS		POWDERCOAT FINISH TO ALUMINIUM PANEL IN WINDOW FRAME	POWDECOAT "TERRAIN"
PR1	LETTER BOXES MASONRY WALL		PAINTED RENDER SMOOTH PAINT FINISH	DULUX "LEXICON HALF"

CODE	LOCATION	DESCRIPTION	COLOUR
D&W	DOOR & WINDOW FRAMES	POWDERCOAT FINISH TO ALUMINIUM FRAMES	SURFMIST
FB1	FACE BRICK WALLS GROUND FLOOR	PGH DARK & STORMY RANGE	LIGHTNING
FB2	FACE BRICK WALLS SITE WALLS & RETAINING WALLS	PGH ESCURA VELOUR RANGE	VOLCANIC
PR1	CONCRETE COLUMNS & EDGES OF CONCRETE SLABS	OFF-FORM CONCRETE SKIM COAT+GRANOSITE SMOOTH PAINT FINISH	DULUX "LEXICON HALF"
FC1	SOFFITS TO GROUND & FIRST FLOOR BALCONY & CARPARK CEILING	PAINTED FIBRE CEMENT SHEETING SMOOTH PAINT FINISH	DULUX "LEXICON HALF"
HR	SITE HANDRAILS & BALUSTRADES & STEEL FRAMING FOR STAIRS	POWDERCOAT FINISH TO GALV STEEL - SMOOTH FINISH	GALV. STEEL
F1	VERTCAL SLATTED METAL FENCE TO PRIVATE OPEN SPACES 1500mm HIGH	POWDERCOAT FINISH TO GALV STEEL - SMOOTH FINISH	WHITE
F2	SITE SIDE & REAR BOUNDARYS	1800mm HIGH METAL COLORBOND FENCING	BASALT
F3	VERTICAL SLATTED METAL FENCE BELOW UNIT 12	POWDERCOAT FINISH TO GALV STEEL - SMOOTH FINISH	BASALT
F4	VERTICAL SLATTED METAL FENCE TO BIN AREA (CLOSE SLATS)	POWDERCOAT FINISH TO GALV STEEL - SMOOTH FINISH	MONUMENT
T1	TIMBER DECK	TREATED HARDWOOD PLANKS GALV STEEL FRAMES	NATURAL

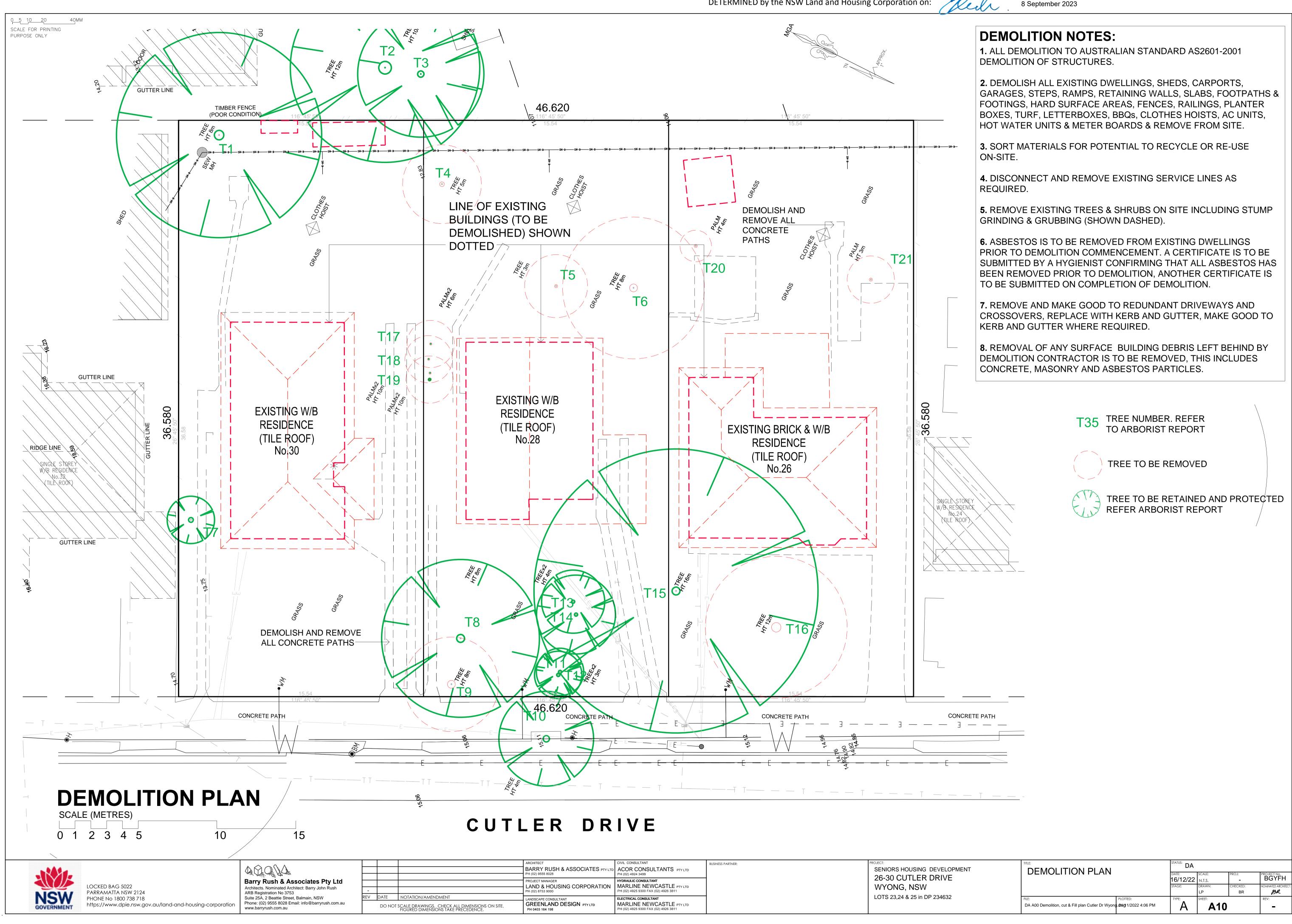


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				BARRY RUSH & ASSOCIATES PTY LTD PH (02) 9555 8028	ACOR CONSULTANTS PTY LTD PH (02) 4324 3499	BUSII
				PROJECT MANAGER LAND & HOUSING CORPORATION	HYDRAULIC CONSULTANT	
١	-			PH (02) 8753 9000		
ļ	REV	DATE	NOTATION/AMENDMENT	LANDSCAPE CONSULTANT	ELECTRICAL CONSULTANT	
		DO NOT	SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.	GREENLAND DESIGN PTY LTD PH 0403 164 198		

SENIORS HOUSING DEVELOPMENT	
26-30 CUTLER DRIVE	
WYONG, NSW	
OTS 23,24 & 25 in DP 234632	

EXTERNAL COLOUR	STATUS: DA				
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LEGEND: BLOCK PLAN PROPOSED DEVELOPMENT OWNED

BY DEPARTMENT OF HOUSING

PROPOSED DEVELOPMENT AT 41 - 43 OWEN AVE, OWNED BY DEPARTMENT OF HOUSING



EXISTING DEVELOPMENT



EXISTING DEVELOPMENT (WITHOUT IMAGE)



EXISTING GROUP OF 1 STOREY DUAL OCCUPANCY DWELLINGS



EXISTING SHOPPING CENTER DEVELOPMENT



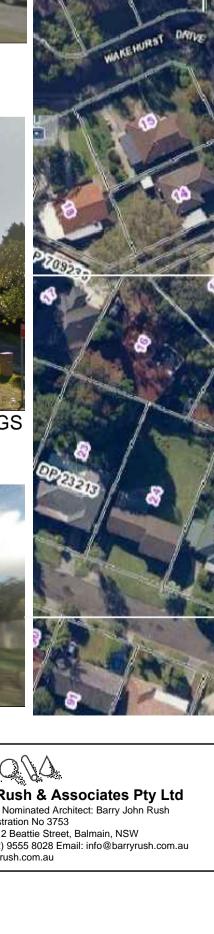
EXISTING 1 & 2 STOREY TOWNHOUSE DEVELOPMENT

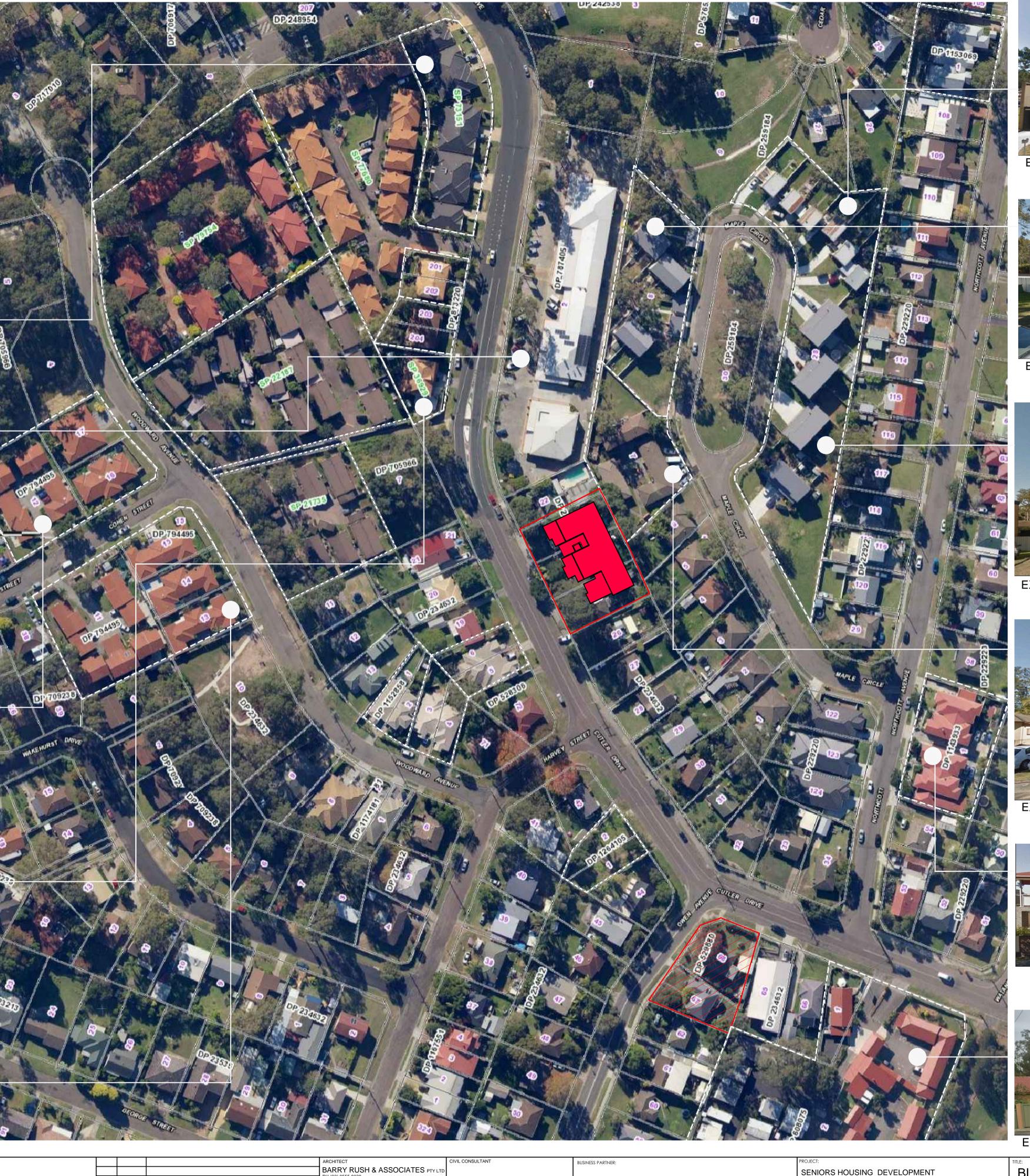


EXISTING GROUP OF 2 STOREY DUAL OCCUPANCY DWELLINGS



EXISTING 1 STOREY TOWNHOUSE DEVELOPMENT







EXISTING 2 STOREY TOWNHOUSE DEVELOPMENT



EXISTING 2 STOREY MULTI UNIT DEVELOPMENT



EXISTING 2 STOREY MULTI UNIT DEVELOPMENT



EXISTING 1 STOREY MULTI UNIT DEVELOPMENT



EXISTING 2 STOREY MULTI UNIT DEVELOPMENT



EXISTING 1 STOREY MOTEL / CARAVAN VILLAGE



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			PROJECT MANAGER LAND & HOUSING CORPORATION	HYDRAULIC CONSULTANT	
-			PH (02) 8753 9000		
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DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SHE.	GREENLAND DESIGN PTY LTD PH 0403 164 198		
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SENIORS HOUSING DEVELOPMENT 26-30 CUTLER DRIVE WYONG, NSW LOTS 23,24 & 25 in DP 234632

:	STATUS:
BLOCK ANALYSIS PLAN	
	DATE:
	16/12
	STAGE:

DA A0X Block Plan 26 Cutler Drive, Wyong.dwg

	STATUS: DA			
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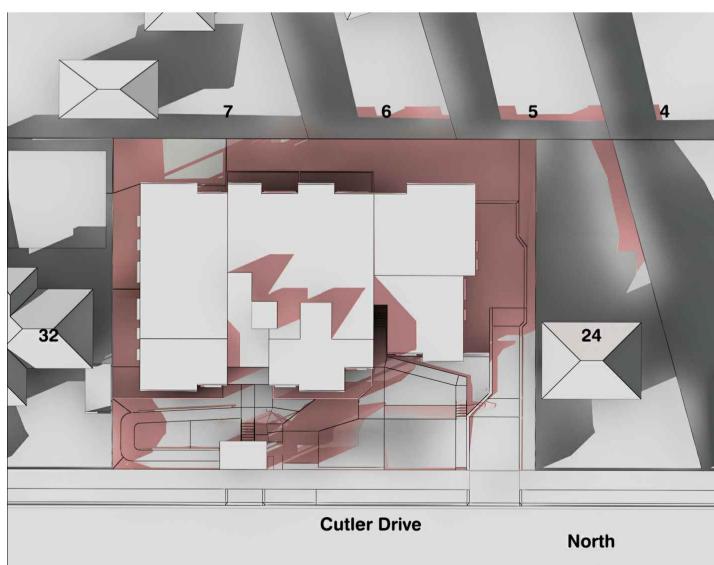
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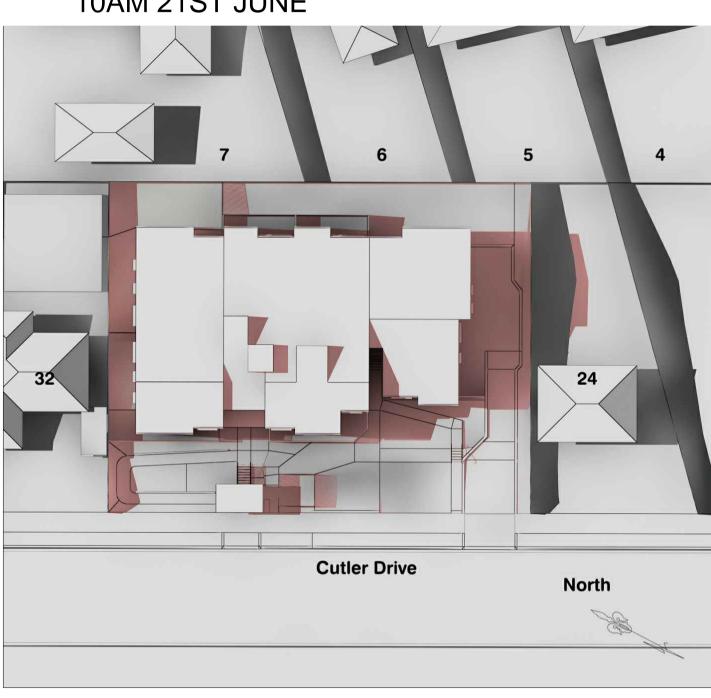


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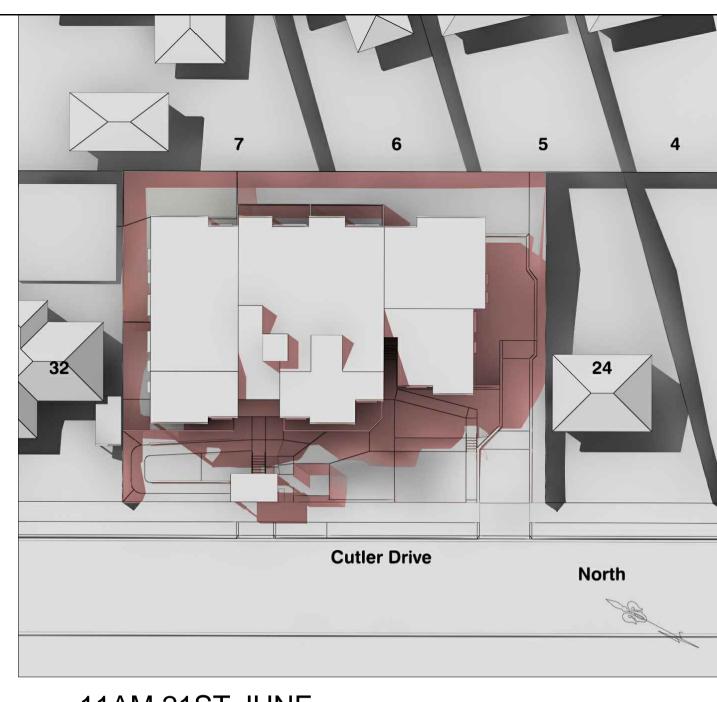




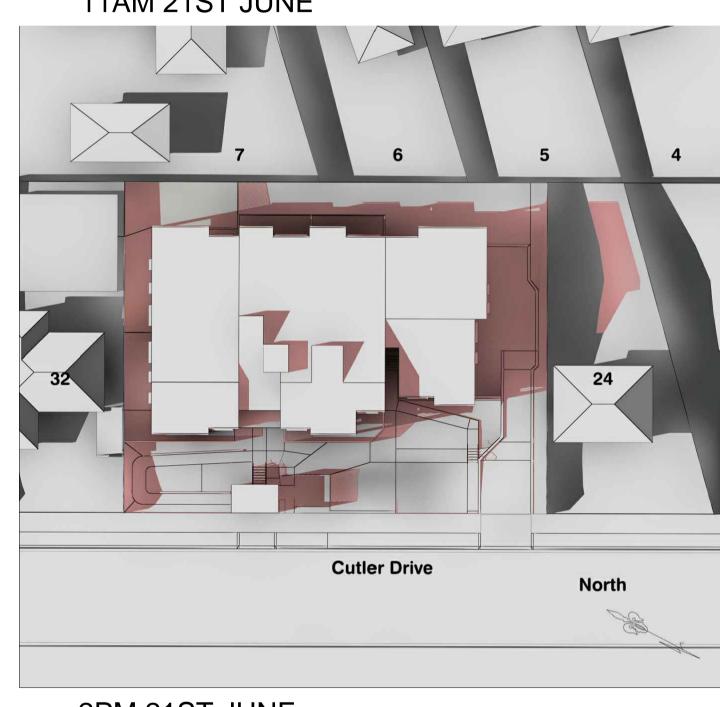
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11AM 21ST JUNE



2PM 21ST JUNE



BUSINESS PARTNER:

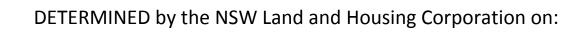




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			ARCHITECT	CIVIL CONSULTANT
			BARRY RUSH & ASSOCIATES PTY LTD PH (02) 9555 8028	ACOR CONSULTANTS PTY LTD PH (02) 4924 3499
			PROJECT MANAGER LAND & HOUSING CORPORATION	HYDRAULIC CONSULTANT MARLINE NEWCASTLE PTYLTD
-			PH (02) 8753 9000	PH (02) 4925 9300 FAX (02) 4926 3811
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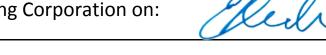
SENIORS HOUSING DEVELOPMENT 26-30 CUTLER DRIVE WYONG, NSW LOTS 23,24 & 25 in DP 234632

SHADOW DIAGRAMS			STATUS: DA			
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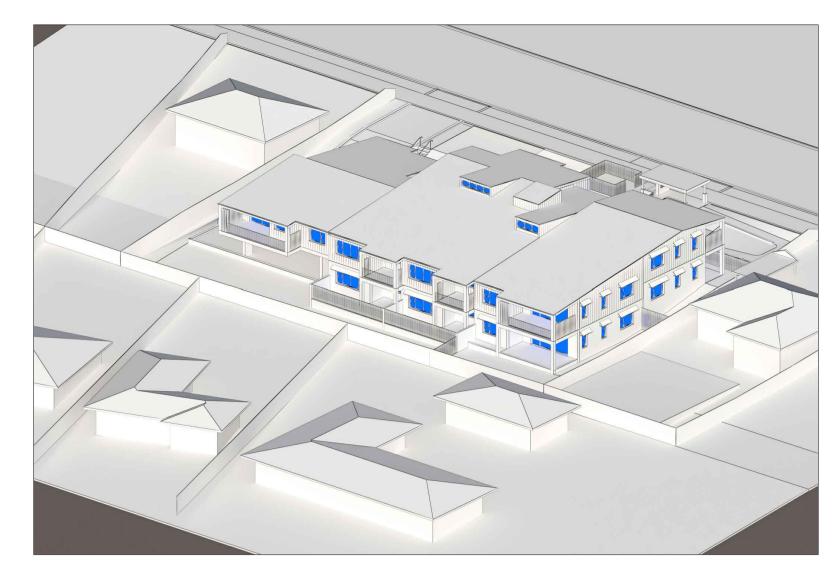


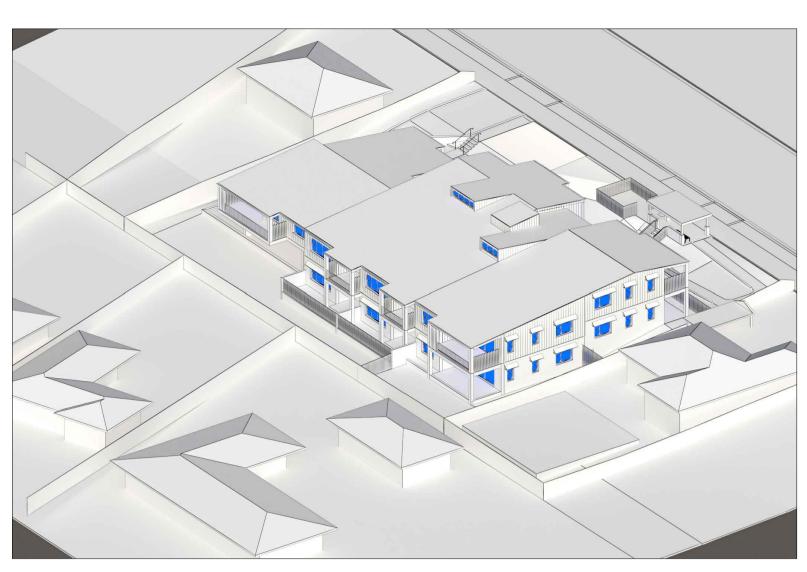
8 September 2023







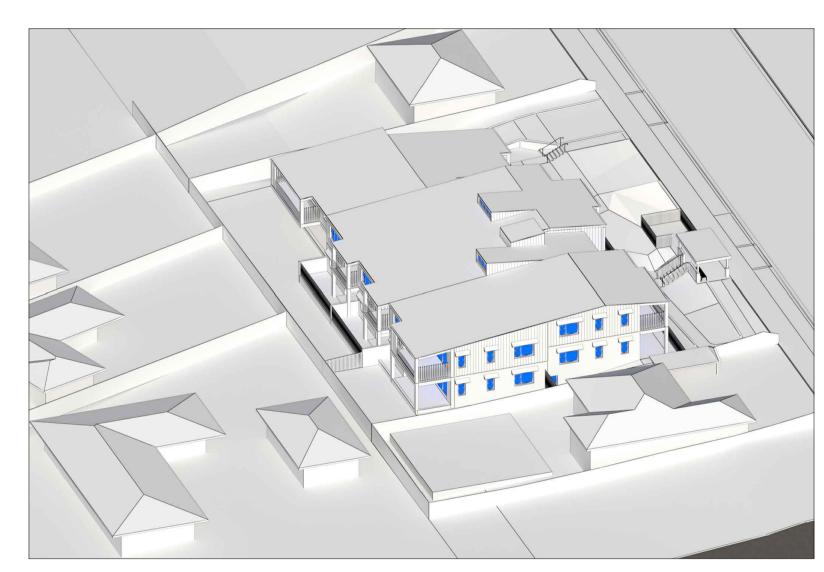




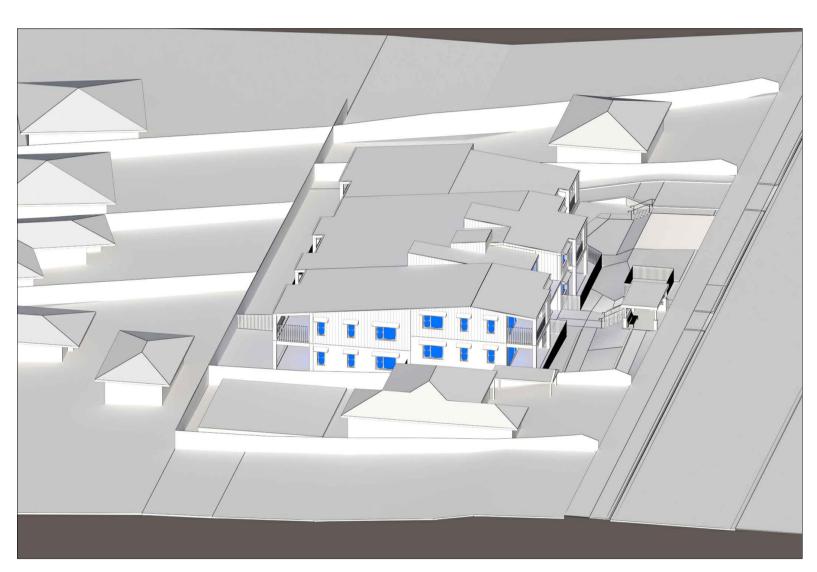
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10AM 21ST JUNE

11AM 21ST JUNE



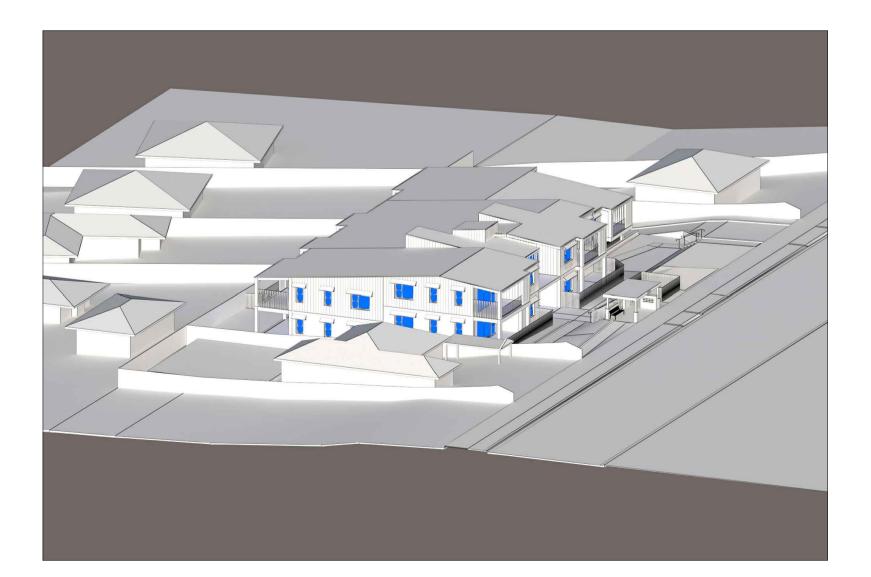




12NOON 21ST JUNE

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2PM 21ST JUNE



3PM 21ST JUNE



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			PROJECT MANAGER	HYDRAULIC CONSULTANT
<u> </u>			LAND & HOUSING CORPORATION PH (02) 8753 9000	MARLINE NEWCASTLE PTY LTD
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SENIORS HOUSING DEVELOPMENT
26-30 CUTLER DRIVE
WYONG, NSW LOTS 23,24 & 25 in DP 234632

VIEWS FROM SUN DIAGRAMS			STATUS: DA					
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on:

8 September 2023

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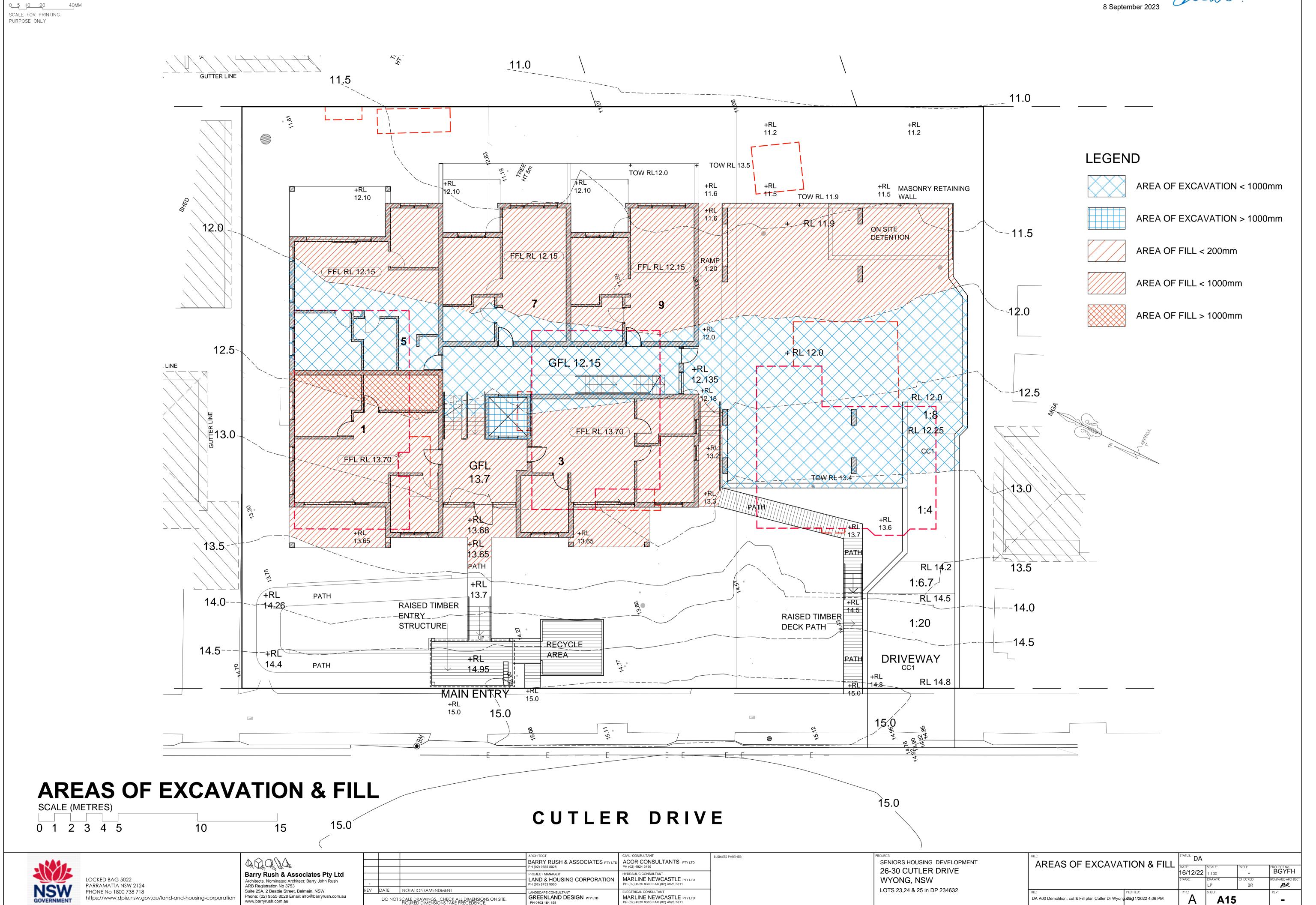
			ARCHITECT	CIVIL CONSULTANT
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_			PROJECT MANAGER LAND & HOUSING CORPORATION PH (02) 8753 9000	HYDRAULIC CONSULTANT MARLINE NEWCASTLE PTY LTD PH (02) 4925 9300 FAX (02) 4926 3811
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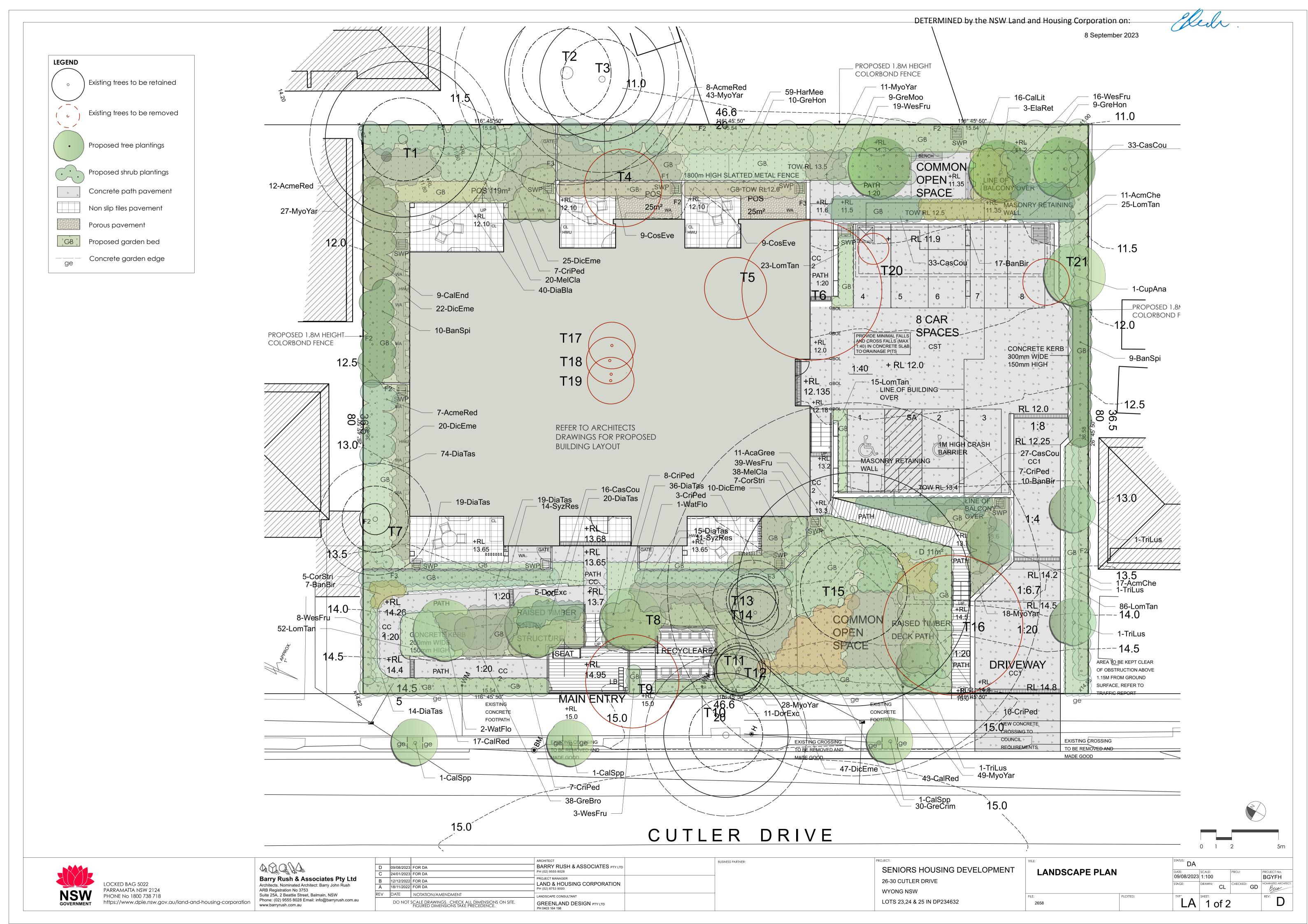
SENIORS HOUSING DEVELOPMENT
26-30 CUTLER DRIVE
WYONG, NSW
LOTS 23,24 & 25 in DP 234632

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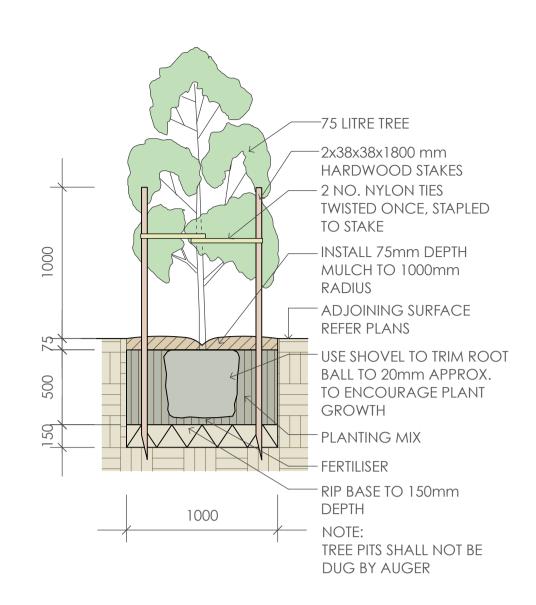
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DETERMINED by the NSW Land and Housing Corporation on:



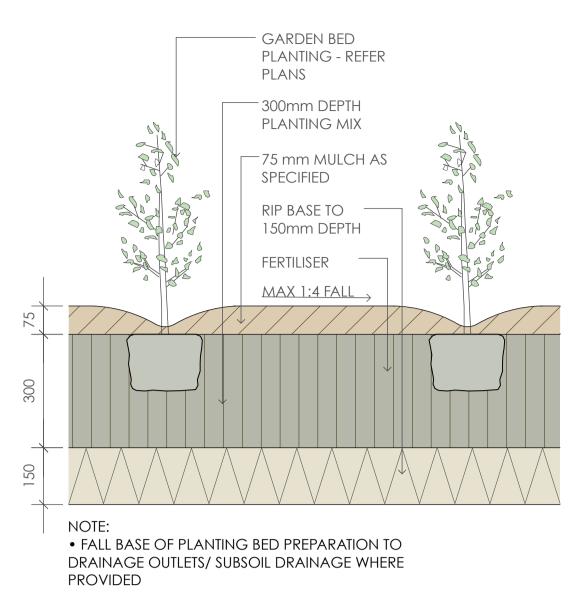


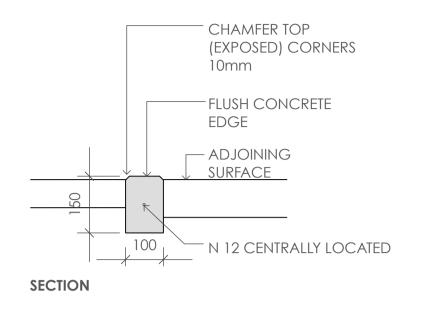




75 Litre Tree Planting

scale 1:25





Planting Bed Detail

Plant Sch							
Plant Schedule		-		-			
ID	Qty	Common Name	Botanical Name	Size	Mature Height	Mature Spread	Native (N)
Trees	2	D a ttl a la w vala	Callista na a na vinaina alia	751 itro	2 500	20 2500	N.I.
CalSpp	3	Bottlebrush	Callistemon viminalis	75Litre	3 - 5m	2.0 - 3.5m	N N
CupAna	1	Tuckeroo	Cupaniopsis anacardioides	75Litre	6 - 9m	3.5 - 6m	
ElaRet	3	Blueberry Ash	Elaeocarpus reticulatus	75Litre	8 - 10m	3 - 4m	N
TriLus	4	Water Gum	Tristaniopsis laurina 'Luscious'	75Litre	6 - 8m	3.5 - 6m	N
WatFlo	3	Weeping Lilly Pilly	Waterhousia floribunda	75Litre	10 - 15m	6 - 10m	N
Shrubs							
<u>AcaGree</u>	11	Green Mist	Acacia cognata 'Green Mist'	200mm	1.0 - 1.5m	0.8 - 1.0m	N
AcmChe	28	Forest Flame	Acmena 'Cherry Surprise'	200mm	3.0 - 5.0m	1.2 - 1.5m	N
AcmeRed		Red Head Lilly Pilly	Acmena smithii 'Red Head'	200mm	5 - 6m	3.0 - 4.0m	N
BanSpi	19	Hairpin Banksia	Banksia spinulosa	200mm	2.0 - 3.0m	1.5 - 2.0m	Ν
CalEnd	9	Scarlet Bottlebrush	Callistemon citrinus 'Endevour'	200mm	3 - 5m	2.0 - 3.5m	Ν
CalLit	16	Little John	Callistemon "Little John"	200mm	0.9 - 1.5m	0.9 - 1.2m	N
CalRed	60	Red Alert Bottle Brush	Callistemon 'Red Alert'	200mm	1.0 - 1.5m	2.0 - 3.0m	N
CorStri	12	Narrow Palm Lily	Cordyline stricta congesta	200mm	1 - 2m	0.8 - 1.0m	N
CosEve	18	Evening Glow Mirror Plant	Coprosma 'Evening Glow'	200mm	1.2 - 1.5m	0.9 - 1.2m	Ν
CriPed	42	Swamp Lily	Crinum pedunculatum	200mm	1.0 - 1.5m	1.2 - 1.5m	Ν
DorExc	16	Gymea Lily	Doryanthes excelsa	200mm	1.5 - 2m	1.2 - 2.0m	Z
GreCrim	30	Crimson Villea™ Grevillea	Grevillea 'Crimson Villea'	200mm	1.0 - 1.5m	1.0 - 1.5m	Z
GreHon	19	Honey Gem Grevillea	Grevillea 'Honey Gem'	200mm	3.0 - 4.0m	2.0 - 3.0m	Ν
GreMoo	9	Grevillea	Grevillea 'Moonlight'	200mm	4.0 - 5.0m	2.0 - 4.0m	Z
MelCla	58	Claret Tops Honey Myrtle	Melaleuca 'Claret Tops'	200mm	0.9 - 1.1m	0.6- 1.0m	Ν
SyzRes	25	Resilience Lilly Pilly	Syzygium 'Resilience'	200mm	2 - 3m	1.2 - 2.0m	Z
WesFru	85	Jervis Gem	Westringia fruticosa 'Jervis Gem'	200mm	0.8 - 1.2m	0.8 - 1.2m	N
Ground C	overs						
LomTan	201	Spiny-headed mat rush	Lomandra longifolia 'Tanika'	150mm	0.45 - 0.6m	0.6 - 0.9m	N
MyoYar	176	Carpet Spreading Myoporum	Myoporum parvifolium 'Yareena'	150mm	0.05 - 0.1m	0.8 - 1.0m	N
CasCou	109	Cousin It	Casuarina 'Cousin It'	150mm	0.10 - 0.15m	0.8 - 1.0m	N
HarMee	59	Meema	Hardenbergia violacea "Meema"	150mm	0.4 - 0.6m	1.5 - 2.0m	N
DicEme	124	Emerald Falls Dichondra	Dichondra 'Emerald Falls'	150mm	0.0 - 0.3m	0.9 - 1.2m	Ν
DiaBla	40	Flax Lily	Dianella tasmanica 'Blaze'	150mm	0.4 - 0.5m	0.4 - 0.6m	Ν
DiaTas	197	Flax Lily	Dianella tasmanica 'Tasred'	150mm	0.4 - 0.5m	0.4 - 0.5m	N
GreBro	38	Bronze Rambler Grevillea	Grevillea 'Bronze Rambler'	150mm	0 - 0.2m	2.0 - 3.0m	N
BanBir	34	Birthday Candle	Banksia spinulosa 'Birthday Candle'	150mm	0.45 - 0.6m	0.9 - 1.2m	N



SPECIFICATION NOTES

PLANTING MATERIALS Planting Mix:

Planting mix for tree pit backfill shall be "Organic Garden Mix" consisting of

50% Black Soil

20% Coarse Sand

30% Organic Material

as available from Australian Native Landscapes, Phone: [02] 9450 1444, or approved equivalent. Samples shall be provided to the Superintendent prior to ordering or delivery to site. Any material delivered to site, that is rejected by the Superintendent, shall be removed by the contractor at his own expense. Minimum depths of mix to all planting bed areas is as specified on details.

Mulch to garden bed:

Mulch shall mean hardwood mulch (25mm grade), free from material derived from Privet, Willow, Poplar, Coral trees, or other noxious weeds. Any mulch exceeding the 25mm grade shall be rejected / removed from the site. Graded hardwood mulch to be supplied by Australian Native Landscapes Pty Ltd Phone (02) 9450 1444, or approved equivalent.

Spread mulch so that after settling, it is:

smooth and evenly graded between design surface levels;

flush with adjacent finished levels;

 of the required depths (75mm); and sloped towards the base of plant stems in plantation beds, but not in contact with the stem (not closer than 50mm in the case of gravel mulches).

Place after the preparation of the planting bed, planting and all other work.

Plant Material:

All plant material must be true to the species. No substitutes will be allowed. All plants shall be free of fungus and insect damage. All plants shall be healthy, well shaped, not soft or force grown and not root bound.

Plants are available from **Andreasens Green** wholesale nursery, contact Darren (02) 8777 4713, email darren@andreasensgreen.com.au or approved equivalent.

PREPARATION AND HARDWORKS

Excavating for Spot Planting

To planting areas, excavate a hole for each plant large enough to provide not less than twice the depth and twice the diameter than the root ball of species to be planted.

Use durable hardwood, straight, free from knots or twists, pointed at one end. Drive stakes into the ground a minimum one third of their length, avoiding damage to the

 75 Litre trees in 2 x 38x38x1800mm Hardwood Stake with double Nylon tie TIES: Provide a 50mm wide Nylon webbing tie per stake, fixed securely to the stakes, one tie at half the height of the main stem and the other as necessary to stabilise the

Porous Pavement

MATERIAL: Porous pavement shall be 115x230x80mm porous paving installed to manufacturers recommendations and specifications as available from Boral Pty Ltd (Ph 1300 134 002) or approved equivalent. Sample to be provided for approval by Superintendent.

Concrete Edge

MATERIALS: Concrete to be off white colour.

INSTALLATION: Supply and install 150 x 100mm (width) reinforced flush concrete kerb to locations as approved on site by the Superintendent. Provide flexible joints at maximum 3 metre intervals in colour to match concrete. Lightly expose aggregate through rinsing / sponging. Tool finish exposed edges with 10mm pencil round to prevent chipping.

MAINTENANCE / PLANT ESTABLISHMENT

Maintenance shall apply to all hard and soft landscape materials installed prior to the "handover" and acceptance by Principles Representative and the Site Superintendent. The maintenance period shall convenience at the granting of practical completion and shall extend for 12 months.

Maintenance shall consist of the following works:

- Follow a daily watering programme to be approved by Superintendent. Water all plants individually, twice per week or when necessary to ensure constant plant

- Apply appropriate weed control sprays and hand weed as required to maintain planting areas, native grassing bed areas, paved areas, and tree pits in turf free of weed or rogue grass growth.

- Regularly tidy and top up mulch and trim edges to prevent spill over onto paved / grassed areas.

- Spray to control pests and diseases.

- Replace plants, which fail with plants of a similar size and quality as originally specified to approval of Superintendent. Costs of replacement shall be the responsibility of the Contractor. Replacement planting will be undertaken within 2 weeks of identification of dead material or instruction be the Superintendent. - Report any incidence of plants stolen or destroyed by vandalism.

- Adjust stakes and ties to plants as necessary. Ensure that strangulation of plants does not occur.

- Prune and shape plants as directed or where necessary.

- Make good any defects or faults arising out of defective workmanship or materials. - Make good any erosion or soil subsidence, which may occur including soft areas in

- A final inspection shall be made by the Superintendent before handover. Any items requiring rectification shall be repaired before the works are finally approved, and retention moneys released.

- All finished levels are to be verified by Contractor on site.

- All landscape works be in strict accordance with Council's landscape code and

- This plan to be used in conjunction with all other submitted architectural, hydraulics and engineering drawing where applicable.

GREENLAND DESIGN												
TWELVE MONTHS MAINTENANCE SCHEDULE	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Plant Care												
Monitoring												
Pruning as required												
Deadhead /tip pruning												
Slow release fertilise												
Rapid suluble fertilise as required												
Cut back perenials and grasses												
Watering as required												
Garden Bed												
Edging												
Remove weeds and herbicide spraying as required												
Top up mulch as required												
Dead foliage removal												
Pest Management												
Monitoring and herbicide spraying as required												
Winter clean up												
Remove dead foliage and pruning as required												





			ARCHITECT	BUSINESS PAR
D	09/08/2023	FOR DA	BARRY RUSH & ASSOCIATES PTY LTD PH (02) 9555 8028	
С	24/01/2023	FOR DA		
В	12/12/2022	FOR DA	PROJECT MANAGER	
Α	18/11/2022	FOR DA	LAND & HOUSING CORPORATION PH (02) 8753 9000	
REV	DATE	NOTATION/AMENDMENT	LANDSCAPE CONSULTANT	
	DO NOT	SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.	GREENLAND DESIGN PTY LTD PH 0403 164 198	





BGYFH

D

GD

PROPOSED DEVELOPMENT

8 September 2023



Lots 23, 24 & 25 (No.26 - 30) CUTLER DRIVE, WYONG

STORMWATER MANAGEMENT PLANS

LEGEND DENOTES ON-SITE DETENTION TANK DENOTES ON-SITE RETENTION TANK DENOTES DWELLING FOOTPRINT DENOTES 100mm DIA STORMWATER/SURFACE WATER SYSTEM PIPE AT 1% MIN. GRADE U.N.O. DENOTES 100mm DIA. FULLY SEALED DENOTES RAINWATER PIPE AND DIA WHEN PIPE EXCEEDS 100mm DIA DENOTES STORMWATER/SURFACE WATER PIPE AND DIA, WHEN PIPE EXCEEDS 100mm DIA DENOTES RISING MAIN AND 100 DENOTES SUBSOIL DRAINAGE LINE AND DIA. WRAPPED IN GEOFABRIC U.N.O. **DENOTES DOWNPIPE** DENOTES INSPECTION OPENING WITH SCREW DOWN LID AT FINISHED SURFACE LEVEL DENOTES INSPECTION OPENING WITH SCREW DOWN LID AT FINISHED SURFACE LEVEL FOR SYSTEM FLUSHING PURPOSES STORMWATER PIT - SOLID COVER STORMWATER PIT - GRATED INLET DENOTES GRATED DRAIN DENOTES ABSORPTION TRENCH NON RETURN VALVE 凶 STOP VALVE (ISOLATION VALVE) 240v REQUIRED DENOTES LEVEL OF INLET /OUTLET OF IL23.31 NOTE: UNLESS NOTED OTHERWISE. THE BASE OF THE PIT IS THE SAME AS THE PIPE INLET/OUTLET.

DIAL BEFORE YOU DIG



IMPORTANT: THE CONTRACTOR IS TO MAINTAIN A CURRENT SET OF "DIAL BEFORE YOU DIG" DRAWINGS ON SITE AT ALL

- THESE PLANS SHALL BE READ IN CONJUNCTION WITH OTHER RELEVANT CONSULTANTS' PLANS, SPECIFICATIONS, CONDITIONS OF DEVELOPMENT CONSENT AND CONSTRUCTION CERTIFICATE REQUIREMENTS. WHERE DISCREPANCIES ARE FOUND ACOR CONSULTANTS (CC) MUST BE CONTACTED IMMEDIATELY FOR
- WHERE THESE PLANS ARE NOTED FOR DEVELOPMENT APPLICATION PURPOSES ONLY, THEY SHALL NOT BE USED FOR OBTAINING A CONSTRUCTION CERTIFICATE NOR USED FOR CONSTRUCTION
- SUBSOIL DRAINAGE SHALL BE DESIGNED AND DETAILED BY THE STRUCTURAL ENGINEER. SUBSOIL DRAINAGE SHALL NOT BE CONNECTED INTO THE STORMWATER SYSTEM IDENTIFIED ON THESE PLANS UNLESS APPROVED BY ACOR CONSULTANTS (CC)

STORMWATER CONSTRUCTION NOTES

- ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH AS/NZS 3500 (CURRENT EDITION) AND THE REQUIREMENTS OF THE LOCAL COUNCIL'S POLICIES AND CODES
- THE MINIMUM SIZES OF THE STORMWATER DRAINS SHALL NOT BE LESS THAN DN90 FOR CLASS 1 BUILDINGS AND DN100 FOR OTHER CLASSES OF BUILDING OR AS REQUIRED BY THE REGULATORY
- THE MINIMUM GRADIENT OF STORMWATER DRAINS SHALL BE 1%, **UNLESS NOTED OTHERWISE**
- COUNCIL'S TREE PRESERVATION ORDER IS TO BE STRICTLY ADHERED TO. NO TREES SHALL BE REMOVED UNTIL PERMIT IS
- PUBLIC UTILITY SERVICES ARE TO BE ADJUSTED AS NECESSARY AT
- ALL PITS TO BE BENCHED AND STREAMLINED. PROVIDE STEP IRONS FOR ALL PITS OVER 1.2m DEEP
- MAKE SMOOTH JUNCTION WITH ALL EXISTING WORK
- VEHICULAR ACCESS AND ALL SERVICES TO BE MAINTAINED AT ALL TIMES TO ADJOINING PROPERTIES AFFECTED BY CONSTRUCTION
- SERVICES SHOWN ON THESE PLANS HAVE BEEN LOCATED FROM INFORMATION SUPPLIED BY THE RELEVANT AUTHORITIES AND FIELD INVESTIGATIONS AND ARE NOT GUARANTEED COMPLETE NOR CORRECT. IT IS THE CLIENT & CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL PRIOR TO CONSTRUCTION
- ANY VARIATION TO THE WORKS AS SHOWN ON THE APPROVED DRAWINGS ARE TO BE CONFIRMED BY ACOR CONSULTANTS (CC) PRIOR TO THEIR COMMENCEMENT

SHEET INDEX

COVER SHEET & NOTES	SHEET C1
STORMWATER MANAGEMENT PLAN	SHEET C2
STORMWATER MANAGEMENT DETAILS SHEET No.1	SHEET C3
ON SITE DETENTION REPORT	SHEET C4
EROSION & SEDIMENT CONTROL PLAN	SHEET C5
EROSION & SEDIMENT CONTROL NOTES & DETAILS	SHEET C6
PROPOSED DRAINAGE FASEMENT PLAN	SHEET C7

RAINWATER RE-USE SYSTEM NOTES

- RAINWATER SUPPLY PLUMBING TO BE CONNECTED TO OUTLETS WHERE REQUIRED BY BASIX CERTIFICATE (BY OTHERS)
- TOWN WATER CONNECTION TO RAINWATER TANK TO BE TO THE SATISFACTION OF THE REGULATORY AUTHORITY. THIS MAY REQUIRE PROVISION OF:
 - PERMANENT AIR GAP
 - BACKFLOW PREVENTION DEVICE
- NO DIRECT CONNECTION BETWEEN TOWN WATER SUPPLY AND THE
- AN APPROVED STOP VALVE AND/OR PRESSURE LIMITING VALVE AT
- PROVIDE APPROPRIATE FLOAT VALVES AND/OR SOLENOID VALVES TO CONTROL TOWN WATER SUPPLY INLET TO TANK IN ORDER TO ACHIEVE THE TOP-UP INDICATED ON THE TYPICAL DETAIL
- ALL PLUMBING WORKS ARE TO BE CARRIED OUT BY LICENSED PLUMBERS IN ACCORDANCE WITH AS/NZS3500.1 NATIONAL PLUMBING AND DRAINAGE CODE
- PRESSURE PUMP ELECTRICAL CONNECTION TO BE CARRIED OUT BY
- ONLY ROOF RUN-OFF IS TO BE DIRECTED TO THE RAINWATER TANK SURFACE WATER INLETS ARE NOT TO BE CONNECTED
- PIPE MATERIALS FOR RAINWATER SUPPLY PLUMBING ARE TO BE APPROVED MATERIALS TO AS/N7S3500 PART 1 SECTION 2 AND TO BE CLEARLY AND PERMANENTLY IDENTIFIED AS 'RAINWATER'. THIS MAY BE ACHIEVED FOR BELOW GROUND PIPES LISING IDENTIFICATION TAPE (MADE IN ACCORDANCE WITH AS2648) OR FOR ABOVE GROUND PIPES BY USING ADHESIVE PIPE MARKERS (MADE IN ACCORDANCE
- EVERY RAINWATER SUPPLY OUTLET POINT AND THE RAINWATER TANK ARE TO BE LABELED 'RAINWATER' ON A METALLIC SIGN IN
- ALL INLETS AND OUTLETS TO THE RAINWATER TANK ARE TO HAVE SUITABLE MEASURES PROVIDED TO PREVENT MOSQUITO AND

TREE LEGEND



DENOTES TREE PROTECTION ZONE ON EXISTING TREES TO REMAIN.



DENOTES STRUCTURAL ROOT ZONE ON EXISTING TREES TO REMAIN.

REFER ALSO TO THE LATEST ARBORISTS REPORT PROVIDE APPROPRIATE PROTECTION MEASURES DURING CONSTRUCTION IN ACCORDANCE WITH ARBORISTS

CENTRAL COAST COUNCIL

- 1 SITE AREA (m²)
- 2. POST DEVELOPED IMPERVIOUS AREA (m²)
- RAINWATER REUSE TANK PROVIDED IN ACCORDANCE WITH BASIX REQUIREMENT. VOLUME PROVIDED = 15m³.
- ON-SITE DETENTION

DRAINS SOFTWARE ADOPTED FOR MODELLING, REFER TO DRAINS

VOLUME PROVIDED = 15m3. OSD PSD = 87 l/sec ORIFICE SIZE = 223mm

DESIGN HAS BEEN PREPARED IN ACCORDANCE WITH COUNCIL'S "CENTRAL COAST DEVELOPMENT CONTROL PLAN 2022", CIVIL WORKS DESIGN GUIDELINE, AR & R AND AS/NZS 3500.

PIT GRATE INLET TYPE					
GRATE TYPE	TRAFFIC CONDITIONS				
A - EXTRA LIGHT DUTY	FOOTWAYS AND AREAS ACCESSIBLE ONLY TO PEDESTRIANS AND PEDAL CYCLISTS.				
B - LIGHT DUTY	FOOTWAYS THAT CAN BE MOUNTED BY VEHICLE				
C - MEDIUM DUTY	MALLS AND PEDESTRIAN AREAS OPEN TO SLOW MOVING COMMERCIAL VEHICLES.				
D - HEAVY DUTY	CARRIAGEWAYS OF ROADS AND AREAS OPEN TO COMMERCIAL VEHICLES.				
TABLE AS PER AS3996 - LATEST EDITION. ENGINEER TO BE NOTIFIED IF LOAD CONDITIONS LISTED ABOVE ARE EXCEEDED.					



ISSUE FOR TENDER PURPOSES NOT FOR CONSTRUCTION

DRAWINGS MUST BE PRINTED IN COLOUR

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D	AMENDED TO INCLUDE RAINWATER TANK IN ACCORDANCE WITH THE BASIX REQUIREMENT	02.08.23	RH	BK	
С	ISSUED FOR TENDER PURPOSES	27.06.23	RH	BK	
В	ISSUED FOR DEVELOPMENT APPROVAL	20.12.22	RH	BK	ı
Α	ISSUED FOR CLIENT REVIEW & COMMENT	28.10.22	RH	BK	
Issue	Description	Date	Drawn	Approved	

BARRY RUSH & ASSOCIATES



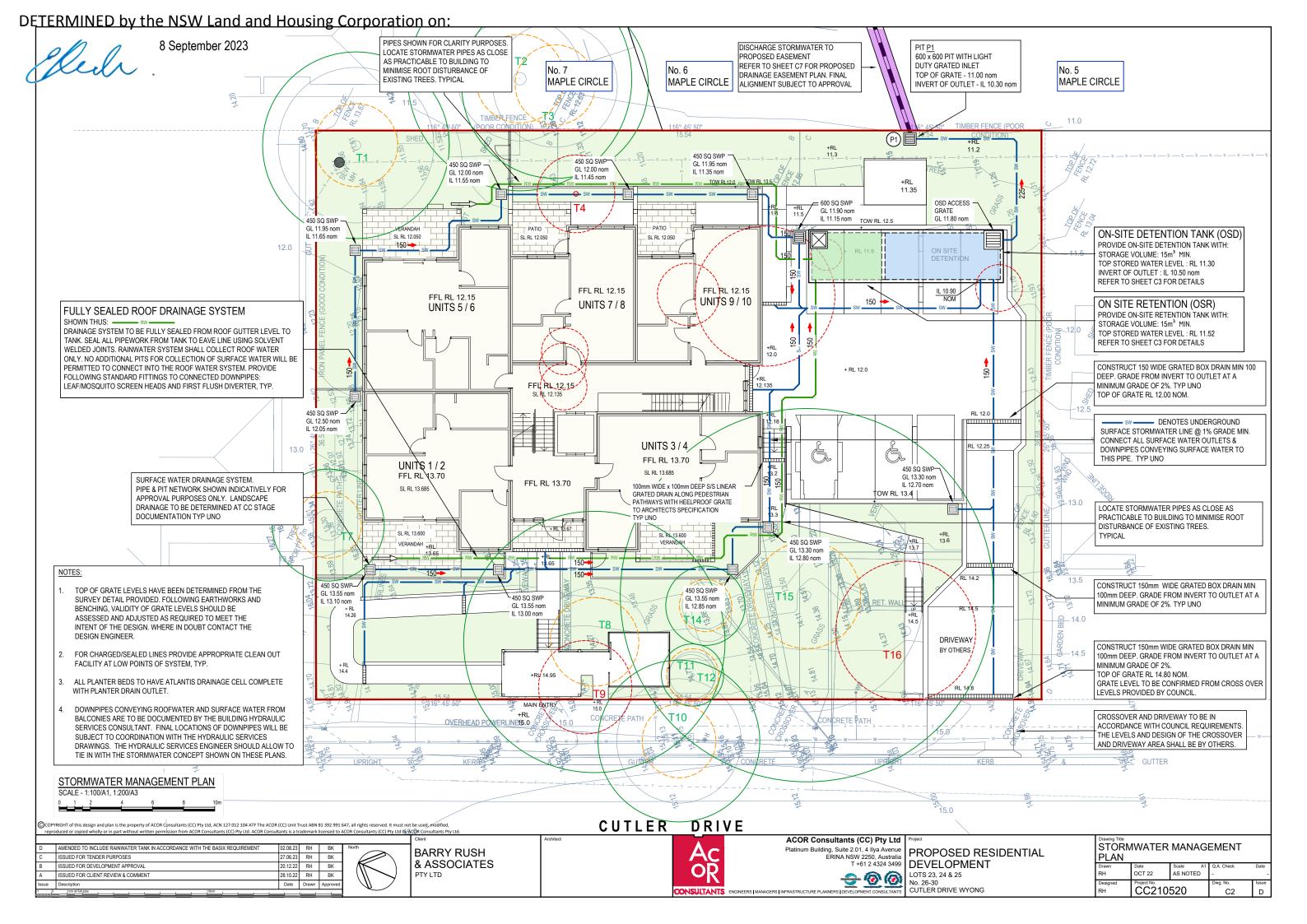
ACOR Consultants (CC) Ptv Ltd Platinum Building, Suite 2.01, 4 Ilya Avenue ERINA NSW 2250, Australia

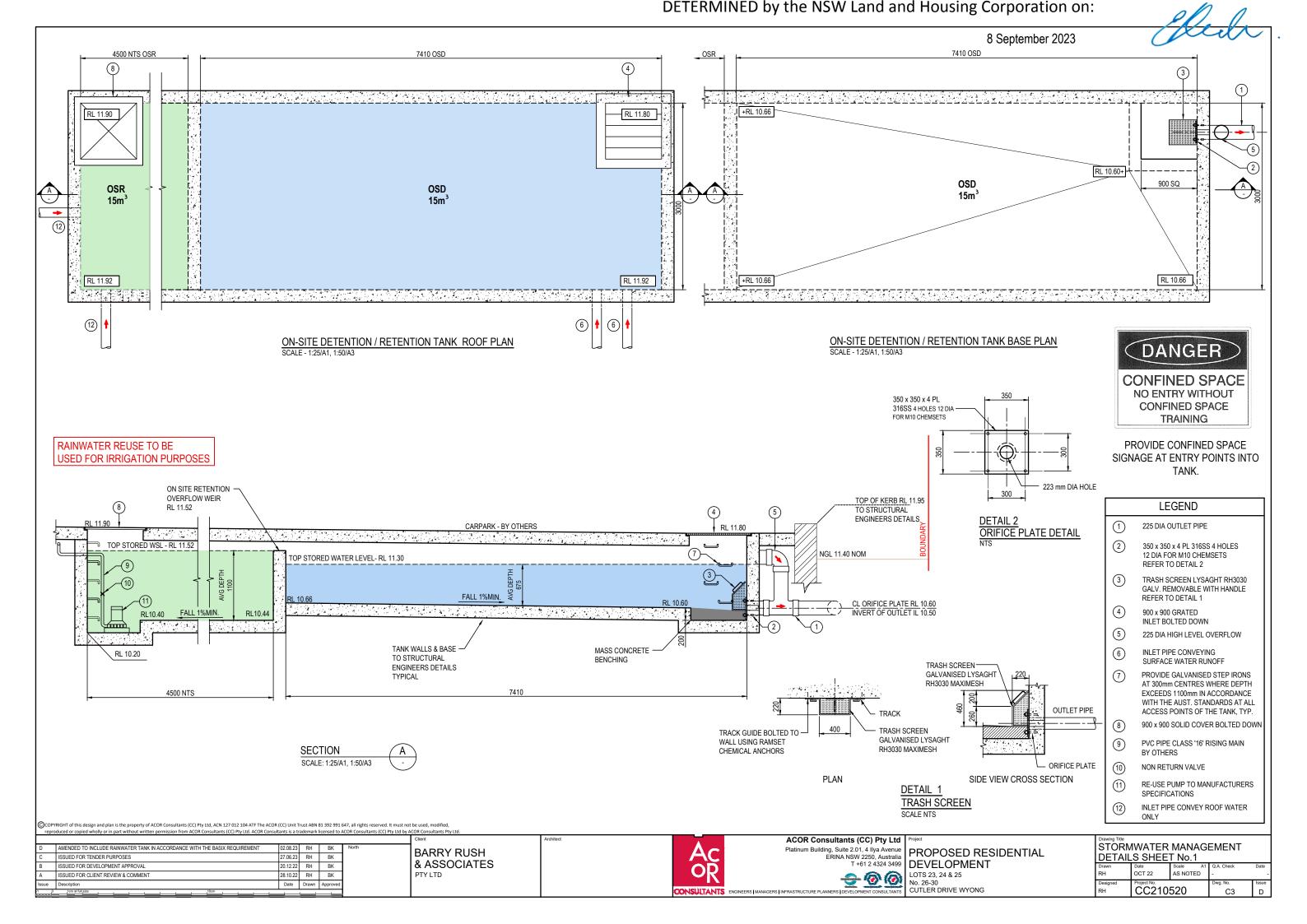


PROPO LOTS 23, 2

DSED RESIDENTIAL	
OPMENT	
4 & 25	
BIVE WYONG	

COVE	R SHEET	& NOTE	.5	
Drawn	Date	Scale A1	Q.A. Check	Da
RH	OCT 22	AS NOTED		
Designed	Project No.		Dwg. No.	lss
BK	CC210	520	C1	1 (





8 September 2023

ON-SITE STORMWATER DETENTION REPORT

1.1. METHODOLOGY

1.1.1. THE DRAINS PROGRAM WAS ADOPTED AS AN APPROPRIATE MODEL FOR THIS PROJECT. PRE-DEVELOPED AND POST-DEVELOPED HYDROLOGICAL AND HYDRAULIC MODELS WERE DEVELOPED FOR THE 1, 2, 5, 10, 20, 50 AND 100 YEAR ARI DESIGN STORM EVENTS, ASSESSING STACKED RAINFALL PATTERNS RANGING FROM 5 MINUTES TO 2 HOURS. THE ADOPTED PRE & POST DEVELOPED FLOWS ARE THOSE ASSIGNED TO THEIR RESPECTIVE PEAKS.

1.2. PRE-DEVELOPED DRAINS MODEL

- 1.2.1. THE PRE-DEVELOPED DRAINS MODEL COMPRISED A SINGLE SUB-CATCHMENT DISCHARGING TO A DUMMY NODE. THE PARAMETERS INPUT TO THE DRAINS MODEL FOR THE SUB-CATCHMENT ARE IDENTIFIED IN THE DRAINS SUB-CATCHMENT DATA INPUT FILE. REFER TO DRAINS FILE "GOSFORD CC210520.dm" THE CATCHMENT AREA ADOPTED IS 0.1667ha. THE PRE & POST DEVELOPED IMPERVIOUS AREAS ADOPTED IN THE MODEL ARE 0% AND 65% RESPECTIVELY.
- 1.2.2. THE PRE-DEVELOPED PEAK FLOWRATES CALCULATED BY THE DRAINS PROGRAM ARE SUMMARISED BELOW:

SITE AREA (m²)	1667 (39% PERVIOUS)
ARI (YEARS)	PEAK FLOWRATE (PRE-DEVELOPED) (L/s)
5	50
20	-
100	76

1.3. POST-DEVELOPED MODEL

- 1.3.1. THE POST DEVELOPED DRAINS MODEL COMPRISES OF TWO SUB CATCHMENTS FORMED BY THE POST DEVELOPED ROOF AREA WHICH DRAINS TO RAINWATER TANKS WITH OVERFLOWS TO DETENTION TANK, AND RESIDUAL SURFACE AREAS THAT DRAIN DIRECTLY TO DETENTION TANK. REFER TO DRAINS MODEL "CC210520.drn" FOR DETAIL.
- 1.3.2. THE PARAMETERS INPUT INTO THE DRAINS MODEL FOR THE POST-DEVELOPED DETENTION TANK IS IDENTIFIED IN THE DRAINS SUB-CATCHMENT DATA. REFER TO DRAINS MODEL "CC210520.dm" FOR DETAILS.
- 1.3.3 THE OSD STORAGE/OUTFLOW PARAMETERS ADOPTED IN THE DRAINS MODEL ARE IDENTIFIED IN DRAINS MODEL "CC210520.dm"
- 1.3.4 THE PEAK STORAGE VOLUME CALCULATED BY THE DRAINS MODEL OCCURS DURING THE 100 YEAR ARI 25 MINUTE DESIGN STORM EVENT. THE VOLUMETRIC GRAPH FOR THIS STORM EVENT IS IDENTIFIED IN DRAINS MODEL "CC210520.drn".

1.3. POST-DEVELOPED MODEL (CONTINUED)

- 1.3.5. THE INFLOW AND OUTFLOW HYDROGRAPH FOR THIS STORM EVENT IS IDENTIFIED IN DRAINS MODEL "CC210520.drn"
- 1.3.6. THE PEAK FLOWRATES AND WATER SURFACE LEVELS DEVELOPED BY THE DRAINS MODEL FOR THE 100 YEAR ARI DESIGN STORM EVENT. REFER TO DRAINS MODEL "CC210520.drn" FOR DETAIL.
- 1.3.7 THE POST-DEVELOPED PEAK FLOWRATES ARE TABLED BELOW:

ARI (YEARS)	PEAK FLOWRATE (POST-DEVELOPED) (L/s)
5	50
20	-
100	87

1.4. CONCLUSION

BASED ON THE FOREGOING THE PROPOSED OSD TANK WILL ATTENUATE POST-DEVELOPED PEAK FLOWRATES TO EQUIVALENT FLOWRATES OR LESS THAN THE COMPARABLE PRE-DEVELOPED FLOWRATES. THE PEAK FLOWRATES FOR THE PRE & POST-DEVELOPED STORM EVENTS FOR THE ENTIRE CATCHMENT DISCHARGE TO THE EXISTING STORMWATER SYSTEM ARE TABLED BELOW:

	PEAK FLOW		
ARI (YEARS)	OVERAL		
	PRE	POST	OSD STORAGE (m³)
5	50	50	6
20	-	-	-
100	76	87	15

D	AMENDED TO INCLUDE RAINWATER TANK IN ACCORDANCE WITH THE BASIX REQUIREMENT	02.08.23	RH	BK	North
С	ISSUED FOR TENDER PURPOSES	27.06.23	RH	BK	
В	ISSUED FOR DEVELOPMENT APPROVAL	20.12.22	RH	BK	
A	ISSUED FOR CLIENT REVIEW & COMMENT	28.10.22	RH	BK	
ssue	Description	Date	Drawn	Approved	
,0	1cm at full size 10cm				1

BARRY RUSH & ASSOCIATES



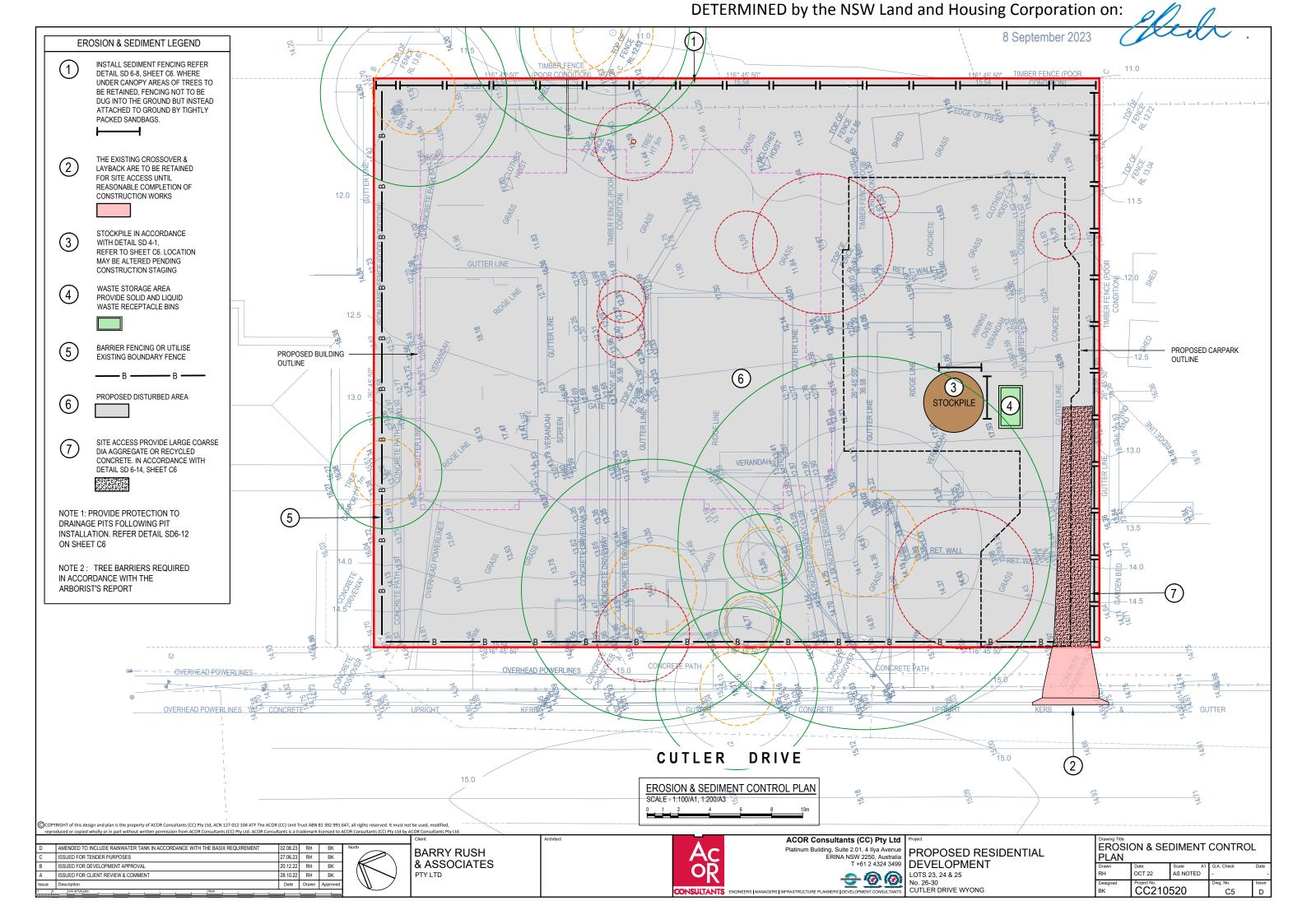
ACOR Consultants (CC) Pty Ltd Platinum Building, Suite 2.01, 4 Ilya Avenu



CUTLER DRIVE WYONG

ON SITE DETENTION REPORT





8 September 2023

1.5m STAR PICKETS AT MAX 3m CENTRES SOURCE: MANAGING URBAN STORMWATER SOILS AND CONSTRUCTION SELF-SUPPORTING THIRD EDITION, AUGUST 1998 PRODUCED BY THE DEPARTMENT



CONSTRUCTION SITE

CONSTRUCTION NOTES:

- STRIP TOPSOIL AND LEVEL SITE.
- COVER AREA WITH NEEDLE-PUNCHED GEOTEXTILE
- CONSTRUCT 200MM THICK PAD OVER GEOTEXTILE USING ROADBASE OR 30MM AGREGATE.
- CONSTRUCT ZOUMN THICK PAID USE OF CHAIR TO SOUR ORDERONG CONSTRUCTION ACCESS TO SUMM ACCESS TO SUMMARY TO SUMMARY TO SUMMARY TO SUMMARY TO SUMMARY TO A SEDIMENT FENCE OR OTHER SEDIMENT TRAP.

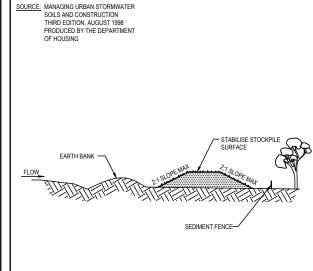
STABILISED SITE ACCESS

MIN WIDTH 3m

MIN LENGTH :

EXISTING ROADWAY

SD 6-14



- 1. LOCATE STOCKPILE AT LEAST 5 METRES FROM EXISTING VEGETATION, CONCENTRATED WATER LOWS, KUALDS AND HAZARD AREAS.
 CONSTRUCT ON THE CONTOUR AS A LOW, FLAT, ELONGATED MOUND.
 WHERE THERE IS SUFFICIENT AREA TOPSOIL STOCKPILES SHALL BE LESS THAN 2 METERS IN HEIGHT.

- REHABILITATE IN ACCORDANCE WITH THE SWMP/ESCP.
 CONSTRUCT EARTH BANK (STANDARD DRAWING 5-2) ON THE UPSLOPE SIDE TO DIVERT RUN OFF
 AROUND THE STOCKPILE AND A SEDIMENT FENCE (STANDARD DRAWING 6-7) 1 TO 2 METRES

STOCKPILES

SD 4-1

EROSION AND SEDIMENT CONTROL NOTES

GENERAL INSTRUCTIONS

- THIS SOIL AND WATER MANAGEMENT PLAN IS TO BE READ 7. IN CONJUNCTION WITH OTHER ENGINEERING PLANS RELATING TO THIS DEVELOPMENT
- CONTRACTORS WILL ENSURE THAT ALL SOIL AND WATER MANAGEMENT WORKS ARE UNDERTAKEN AS INSTRUCTED IN THIS SPECIFICATION AND CONSTRUCTED FOLLOWING THE GUIDELINES OF "MANAGING URBAN STORMWATER SOILS AND CONSTRUCTION", DEPT OF HOUSING, 1998 (BLUE BOOK)
- ALL SUBCONTRACTORS WILL BE INFORMED OF THEIR RESPONSIBILITIES IN REDUCING THE POTENTIAL FOR SOIL EROSION AND POLLUTION TO DOWNSLOPE AREAS.

LAND DISTURBANCE INSTRUCTIONS

- DISTURBANCE TO BE NO FURTHER THAN 5 (PREFERABLY 2) METRES FROM THE EDGE OF ANY ESSENTIAL ENGINEERING ACTIVITY AS SHOWN ON APPROVED PLANS. ALL SITE WORKERS WILL CLEARLY RECOGNISE THESE ZONES THAT, WHERE APPROPRIATE, ARE IDENTIFIED WITH BARRIER FENCING (UPSLOPE) AND SEDIMENT FENCING (DOWNSLOPE) OR SIMILAR MATERIALS.
- ACCESS AREAS ARE TO BE LIMITED TO A MAXIMUM WIDTH OF 10 METRES THE SITE MANAGER WILL DETERMINE AND MARK THE LOCATION OF THESE ZONES ON-SITE. ALL SITE WORKERS WILL CLEARLY RECOGNISE THESE BOUNDARIES THAT, WHERE APPROPRIATE, ARE IDENTIFIED WITH BARRIER FENCING (UPSLOPE) AND SEDIMENT FENCING (DOWNSLOPE) OR SIMILAR MATERIALS
- ENTRY TO LANDS NOT REQUIRED FOR CONSTRUCTION OR ACCESS IS PROHIBITED EXCEPT FOR ESSENTIAL THINNING OF PLANT GROWTH
- WORKS ARE TO PROCEED IN THE FOLLOWING SEQUENCE: INSTALL ALL BARRIER AND SEDIMENT FENCING WHERE SHOWN ON THE PLAN
 - CONSTRUCT THE STABILISED SITE ACCESS
 - CONSTRUCT DIVERSION DRAINS AS REQUIRED INSTALL MESH AND GRAVEL INLETS FOR ANY
 - ADJACENT KERR INLETS
 - INSTALL GEOTEXTILE INLET FILTERS AROUND ANY ON-SITE DROP INLET PITS.
 - CLEAR SITE AND STRIP AND STOCKPILE TOPSOIL IN LOCATIONS SHOWN ON THE PLAN
 - UNDERTAKE ALL ESSENTIAL CONSTRUCTION WORKS ENSURING THAT ROOF AND/OR PAVED AREA STORMWATER SYSTEMS ARE CONNECTED TO PERMANENT DRAINAGE AS SOON AS PRACTICABLE
 - GRADE LOT AREAS TO FINAL GRADES AND APPLY PERMANENT STABILISATION (LANDSCAPING) WITHIN 20 DAYS OF COMPLETION OF CONSTRUCTION WORKS
- REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER THE PERMANENT LANDSCAPING HAS BEEN COMPLETED.
- ENSURE THAT SLOPE LENGTHS DO NOT EXCEED 80 METRES WHERE PRACTICABLE. SLOPE LENGTHS ARE DETERMINED BY SILTATION FENCING AND CATCH DRAIN
- ON COMPLETION OF MAJOR WORKS LEAVE DISTURBED LANDS WITH A SCARIFIED SURFACE TO ENCOURAGE WATER INFILTRATION AND ASSIST WITH KEYING TOPSOIL

SITE MAINTENANCE INSTRUCTIONS

- THE SITE SUPERINTENDENT WILL INSPECT THE SITE AT LEAST WEEKLY AND AT THE CONCLUSION OF EVERY STORM EVENT TO:
 - ENSURE THAT DRAINS OPERATE PROPERLY AND TO EFFECT ANY NECESSARY REPAIRS.
 - REMOVE SPILLED SAND OR OTHER MATERIALS FROM HAZARD AREAS, INCLUDING LANDS CLOSER THAN 5 METRES FROM AREAS OF LIKELY CONCENTRATED OR HIGH VELOCITY FLOWS ESPECIALLY WATERWAYS AND PAVED AREAS.
 - REMOVE TRAPPED SEDIMENT WHENEVER THE DESIGN CAPACITY OF THAT STRUCTURE HAS BEEN
 - ENSURE REHABILITATED LANDS HAVE EFFECTIVELY REDUCED THE EROSION HAZARD AND TO INITIATE UPGRADING OR REPAIR AS
 - CONSTRUCT ADDITIONAL EROSION AND/OR SEDIMENT CONTROL WORKS AS MIGHT BECOME NECESSARY TO ENSURE THE DESIRED PROTECTION IS GIVEN TO DOWNSLOPE LANDS AND WATERWAYS, MAKE ONGOING CHANGES TO THE PLAN WHERE IT PROVES INADEQUATE IN PRACTICE OR IS SUBJECTED TO CHANGES IN CONDITIONS ON THE WORK-SITE OR ELSEWHERE IN THE CATCHMENT
 - MAINTAIN EROSION AND SEDIMENT CONTROL STRUCTURES IN A FULLY FUNCTIONING CONDITION UNTIL ALL FARTHWORK ACTIVITIES ARE
- COMPLETED AND THE SITE IS REHABILITATED THE SITE SUPERINTENDENT WILL KEEP A LOGBOOK MAKING ENTRIES AT LEAST WEEKLY, IMMEDIATELY BEFORE FORECAST RAIN AND AFTER RAINFALL, ENTRIES WILL INCLUDE:
 - THE VOLUME AND INTENSITY OF ANY RAINFALL EVENTS.
- THE CONDITION OF ANY SOIL AND WATER MANAGEMENT WORKS
- THE CONDITION OF VEGETATION AND ANY NEED TO IRRIGATE
- THE NEED FOR DUST PREVENTION STRATEGIES. ANY REMEDIAL WORKS TO BE UNDERTAKEN
- THE LOGBOOK WILL BE KEPT ON-SITE AND MADE AVAILABLE TO ANY AUTHORISED PERSON UPON REQUEST. IT WILL BE GIVEN TO THE PROJECT MANAGER AT THE CONCLUSION OF THE WORKS.

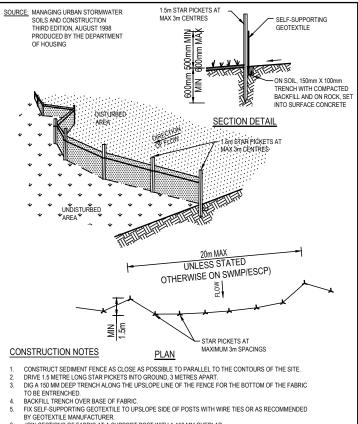
SEDIMENT CONTROL INSTRUCTIONS

- SEDIMENT FENCES WILL BE INSTALLED AS SHOWN ON THE WASTE CONTROL INSTRUCTIONS PLAN AND ELSEWHERE AT THE DISCRETION OF THE SITE SUPERINTENDENT TO CONTAIN SOIL AS NEAR AS POSSIBLE TO THEIR SOURCE
- SEDIMENT FENCES WILL NOT HAVE CATCHMENT AREAS EXCEEDING 900 SQUARE METRES AND HAVE A STORAGE DEPTH OF AT LEAST 0.6 METRES
- SEDIMENT REMOVED FROM ANY TRAPPING DEVICES WILL BE RELOCATED WHERE FURTHER POLLUTION TO DOWNSLOPE LANDS AND WATERWAYS CANNOT OCCUR. STOCKPILES ARE NOT TO BE LOCATED WITHIN 5 METRES
- OF HAZARD AREAS INCLUDING AREAS OF HIGH VELOCITY FLOWS SUCH AS WATERWAYS, PAVED AREAS AND **DRIVEWAYS** WATER WILL BE PREVENTED FROM DIRECTLY ENTERING
- THE PERMANENT DRAINAGE SYSTEM UNLESS THE CATCHMENT AREA HAS BEEN PERMANENTLY LANDSCAPED AND/OR WATER HAS BEEN TREATED BY AN
- TEMPORARY SEDIMENT TRAPS WILL REMAIN IN PLACE UNTIL AFTER THE LANDS THEY ARE PROTECTING ARE COMPLETELY REHABILITATED.
- ACCESS TO SITES SHOULD BE STABILISED TO REDUCE THE LIKELIHOOD OF VEHICLES TRACKING SOIL MATERIALS ONTO PUBLIC ROADS AND ENSURE ALL-WEATHER ENTRY/EXIT

SOIL EROSION CONTROL INSTRUCTIONS

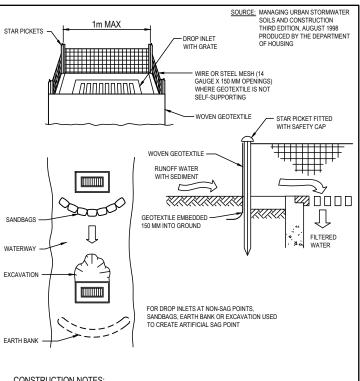
- 16. EARTH BATTERS WILL BE CONSTRUCTED WITH AS LOW A GRADIENT AS PRACTICABLE BUT NO STEEPER, UNLESS OTHERWISE NOTED, THAN:
 - 2(H):1(V) WHERE SLOPE LENGTH LESS THAN 12 METRES
 - 2.5(H):1(V) WHERE SLOPE LENGTH BETWEEN 12 AND 16 METRES. 3(H):1(V) WHERE SLOPE LENGTH BETWEEN 16
 - AND 20 METRES. 4(H):1(V) WHERE SLOPE LENGTH GREATER THAN 20 METRES
- ALL WATERWAYS, DRAINS, SPILLWAYS AND THEIR OUTLETS WILL BE CONSTRUCTED TO BE STABLE IN AT LEAST THE 1:20 YEAR ARI, TIME OF CONCENTRATION
- 18. WATERWAYS AND OTHER AREAS SUBJECT TO CONCENTRATED FLOWS AFTER CONSTRUCTION ARE TO HAVE A MAXIMUM GROUNDCOVER C-FACTOR OF 0.05 (70%) GROUND COVER) WITHIN 10 WORKING DAYS FROM COMPLETION OF FORMATION. FLOW VELOCITIES ARE TO BE LIMITED TO THOSE SHOWN IN TABLE 5-1 OF "MANAGING URBAN STORMWATER - SOILS AND CONSTRUCTION", DEPT OF HOUSING 1998 (BLUE BOOK). FOOT AND VEHICULAR TRAFFIC WILL BE PROHIBITED IN THESE AREAS.
- STOCKPILES AFTER CONSTRUCTION ARE TO HAVE A MAXIMUM GROUND-COVER C-FACTOR OF 0.1 (60% GROUND-COVER) WITHIN 10 WORKING DAYS FROM COMPLETION OF FORMATION.
- ALL LANDS, INCLUDING WATERWAYS AND STOCKPILES, DURING CONSTRUCTION ARE TO HAVE A MAXIMUM GROUND-COVER C-FACTOR OF 0.15 (50% GROUND COVER) WITHIN 20 WORKING DAYS FROM INACTIVITY EVEN THOUGH WORKS MAY CONTINUE LATER.
- 21 FOR AREAS OF SHEET FLOW USE THE FOLLOWING GROUND COVER PLANT SPECIES FOR TEMPORARY COVER: JAPANESE MILLET 20 KG/HA AND OATS 20 KG/HA
- 22. PERMANENT REHABILITATION OF LANDS AFTER CONSTRUCTION WILL ACHIEVE A GROUND-COVER C-FACTOR OF LESS THAN 0.1 AND LESS THAN 0.05 WITHIN 60 DAYS NEWLY PLANTED LANDS WILL BE WATERED. REGULARLY UNTIL AN EFFECTIVE COVER IS ESTABLISHED AND PLANTS ARE GROWING VIGOROUSLY FOLLOW-UP SEED AND FERTILISER WILL BE APPLIED, AS NECESSARY REVEGETATION SHOULD BE AIMED AT RE-ESTABLISHING
- NATURAL SPECIES, NATURAL SURFACE SOILS SHOULD BE REPLACED AND NON-PERSISTANT ANNUAL COVER CROPS SHOULD BE USED

- ACCEPTABLE BINS WILL BE PROVIDED FOR ANY CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHING, LIGHTWEIGHT WASTE MATERIALS AND LITTER. CLEARANCE SERVICES WILL BE PROVIDED AT LEAST WEEKLY, DISPOSAL OF WASTE WILL BE IN A MANNER APPROVED BY THE SITE SUPERINTENDENT.
- 25. ALL POSSIBLE POLLUTANT MATERIALS ARE TO BE STORED WELL CLEAR OF ANY POORLY DRAINED AREAS, FLOOD PRONE AREAS, STREAMBANKS, CHANNELS AND STORMWATER DRAINAGE AREAS. STORE SUCH MATERIALS IN A DESIGNATED AREA UNDER COVER WHERE POSSIBLE AND WITHIN CONTAINMENT BUNDS.
- ALL SITE STAFF AND SUB-CONTACTORS ARE TO BE INFORMED OF THEIR OBLIGATION TO USE WASTE CONTROL FACILITIES PROVIDED
- ANY DE-WATERING ACTIVITIES ARE TO BE CLOSELY MONITORED TO ENSURE THAT WATER IS NOT POLLUTED BY SEDIMENT, TOXIC MATERIALS OR PETROLEUM **PRODUCTS**
- 28. PROVIDE DESIGNATED VEHICULAR WASHDOWN AND MAINTENANCE AREAS WHICH ARE TO HAVE CONTAINMENT BUNDS



- JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150 MM OVERLAP.

SEDIMENT FENCE SD 6-8



CONSTRUCTION NOTES:

- FABRICATE A SEDIMENT BARRIER FROM GEOTEXTILE OR STRAW BALES. SUPPORT GEOTEXTILE WITH MESH TIED TO POSTS AT 1 METRE CENTRES
- DO NOT COVER INLET WITH GEOTEXTILE
- CONSTRUCTION DETAILS ARE SIMILAR TO TYPICAL SEDIMENT FENCING DETAIL

GEOTEXTILE INLET FILTER SD 6-12

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D	AMENDED TO INCLUDE RAINWATER TANK IN ACCORDANCE WITH THE BASIX REQUIREMENT	02.08.23	RH	BK
С	ISSUED FOR TENDER PURPOSES	27.06.23	RH	BK
В	ISSUED FOR DEVELOPMENT APPROVAL	20.12.22	RH	BK
Α	ISSUED FOR CLIENT REVIEW & COMMENT	28.10.22	RH	BK
Issue	Description	Date	Drawn	Approved
-1 0	1cm at full size 10cm	$\overline{}$		

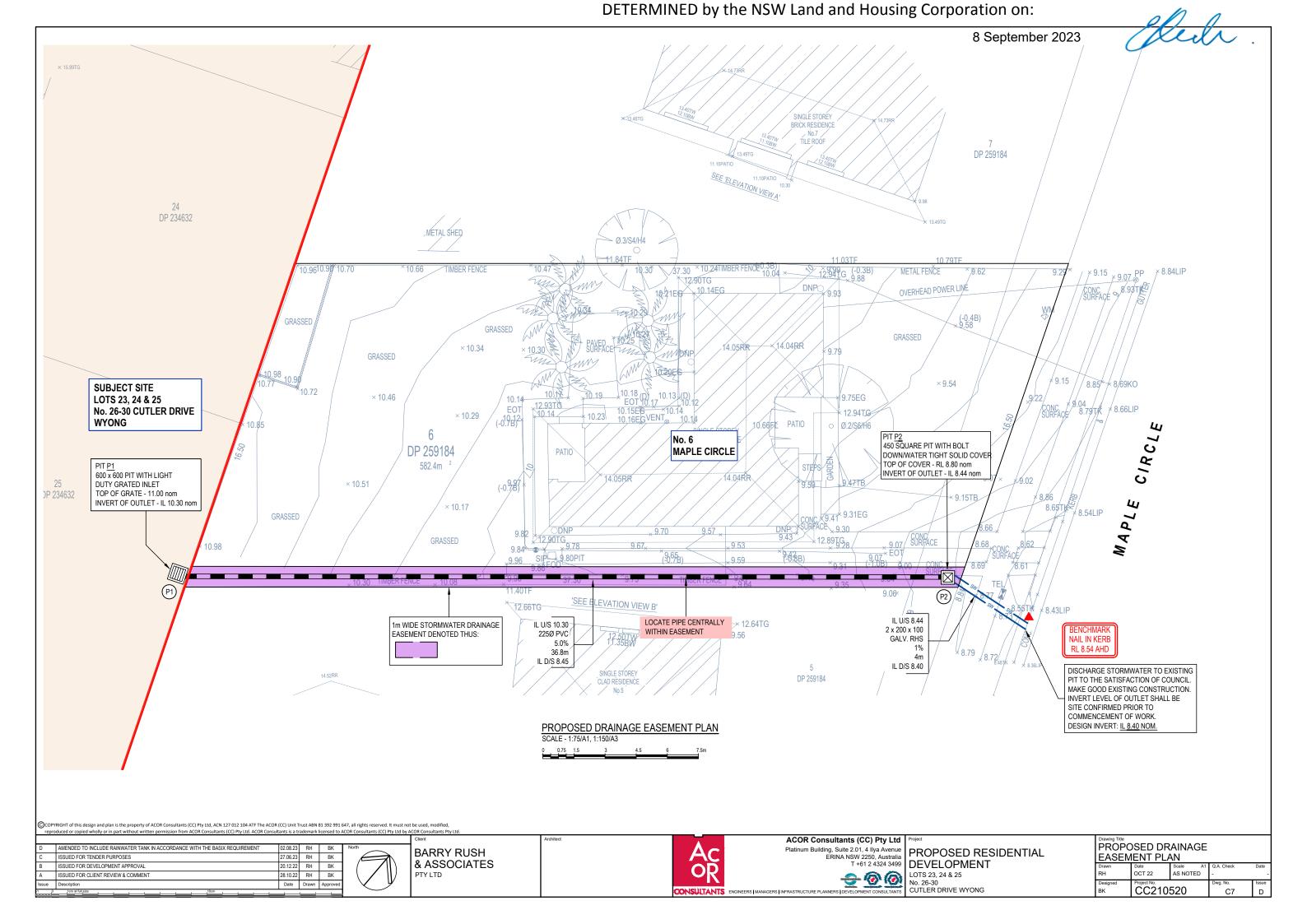
BARRY RUSH & ASSOCIATES

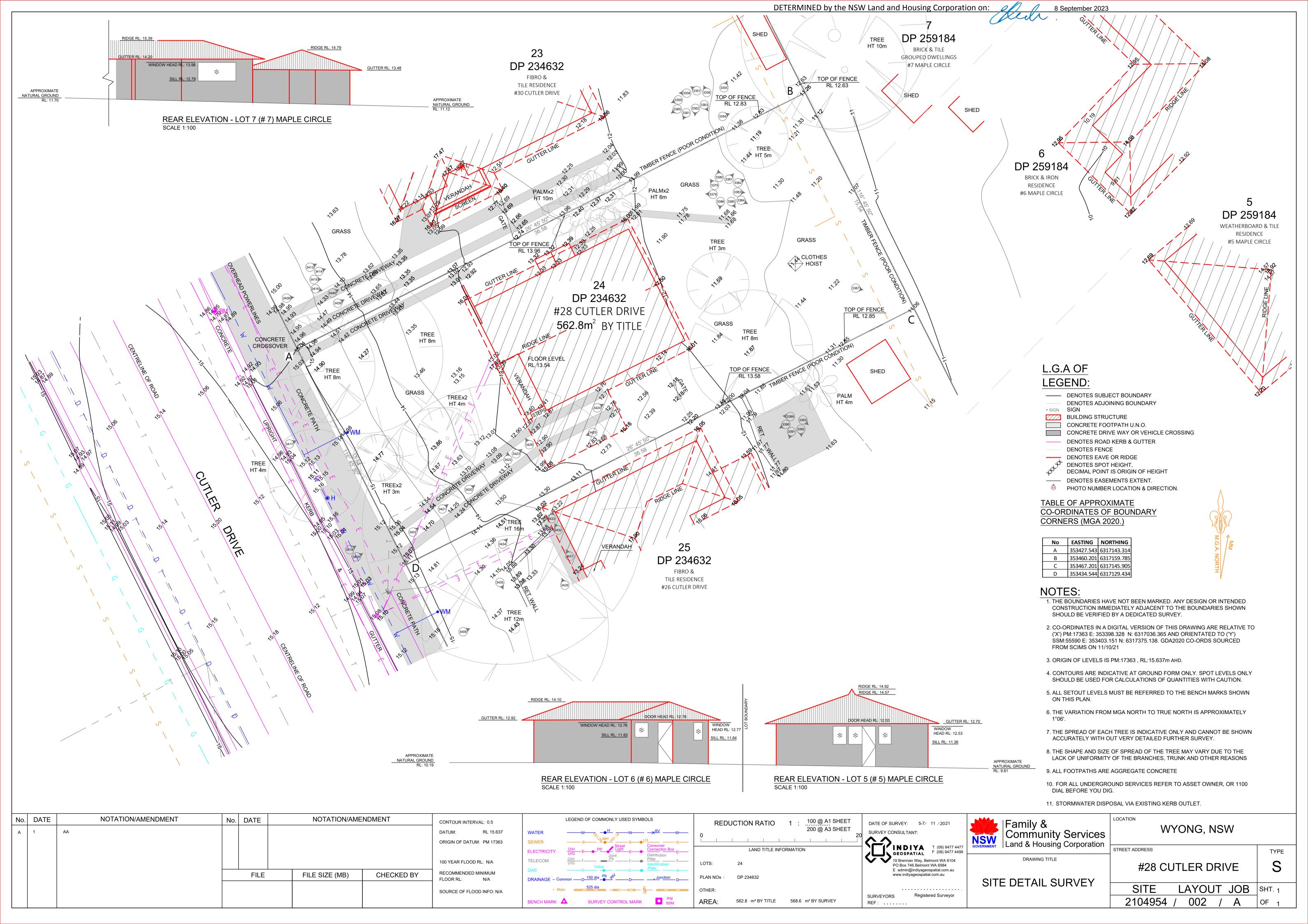


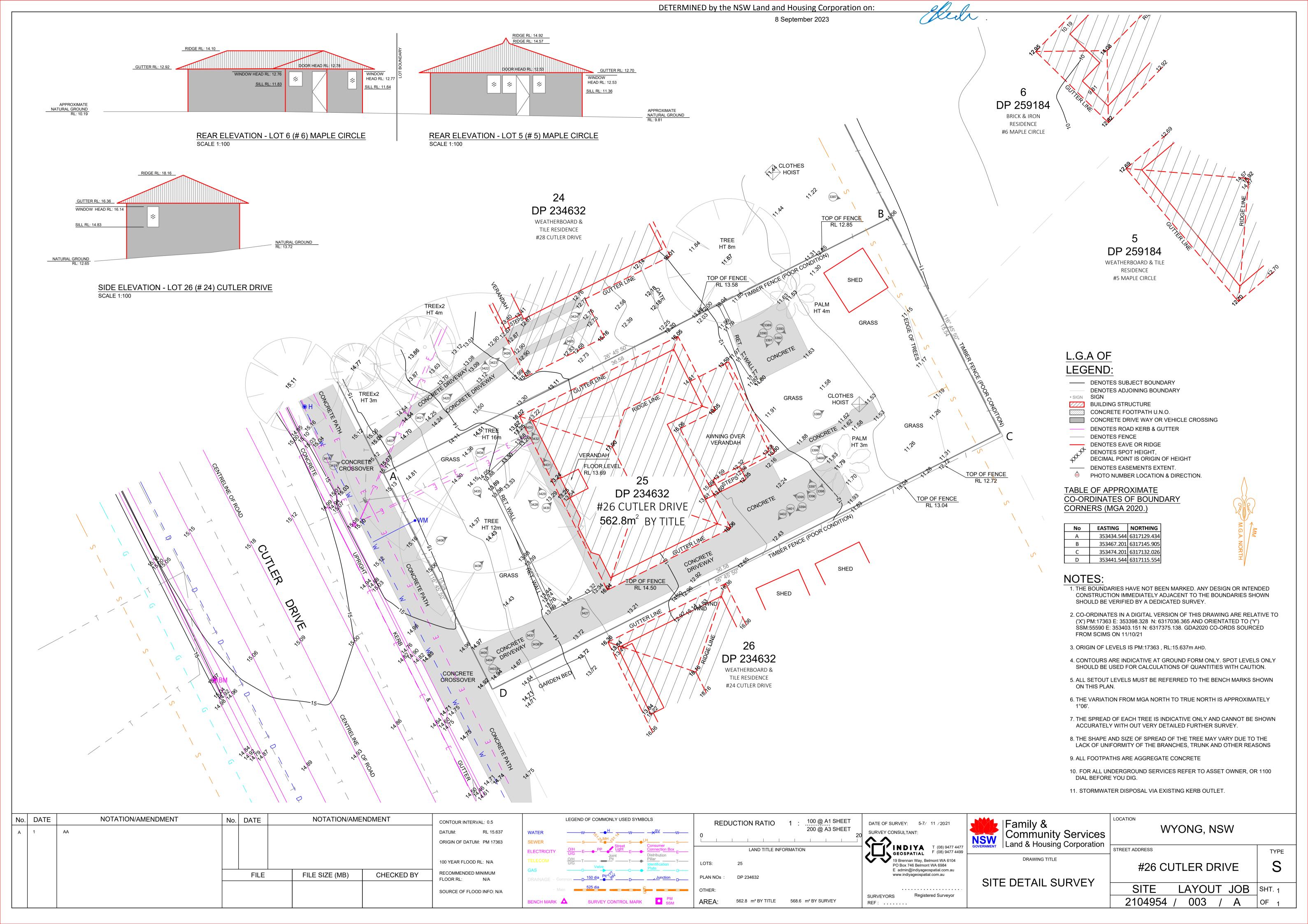




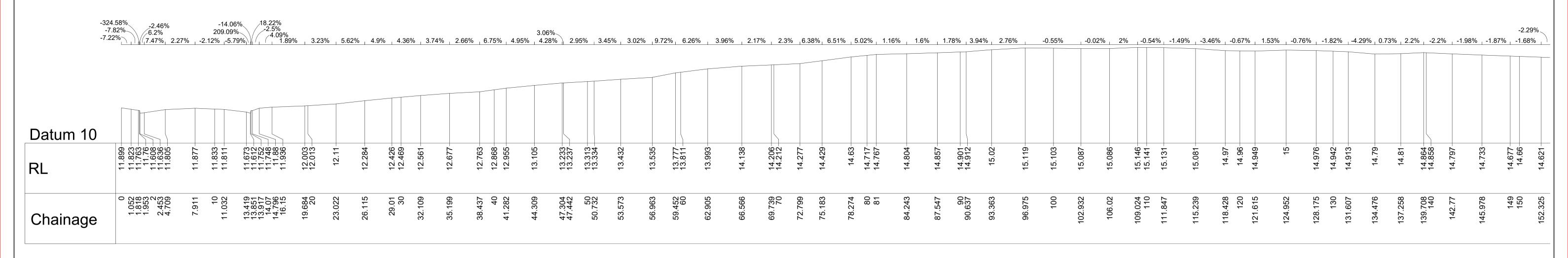
EROSION & SEDIMENT CONTROL NOTES & DETAILS							
Drawn	Date	Scale A1	Q.A. Check	Da			
RH	OCT 22	AS NOTED	-				
Designed	Project No.		Dwg. No.	Iss			
BK	CC210	520	C6	[





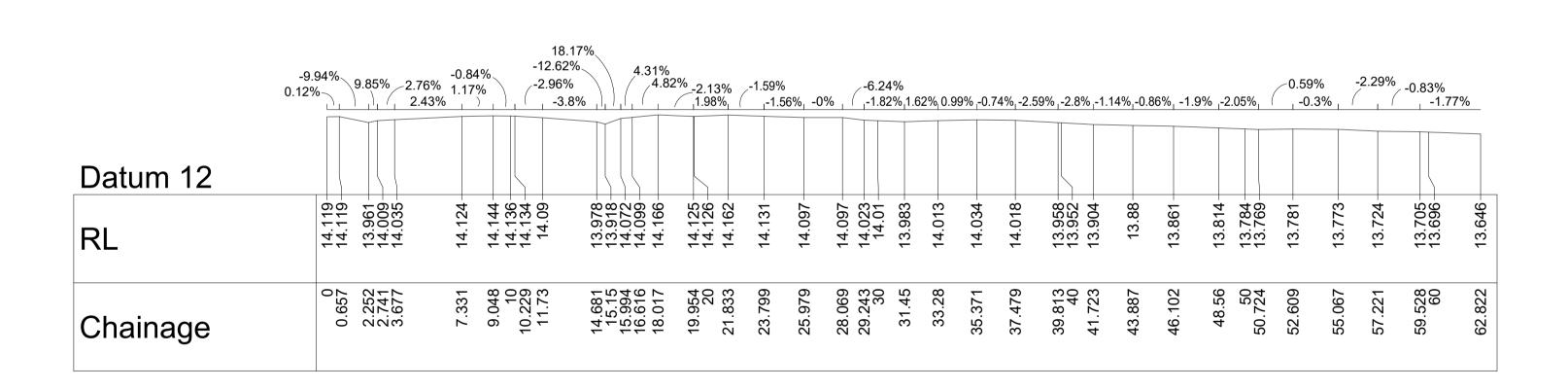






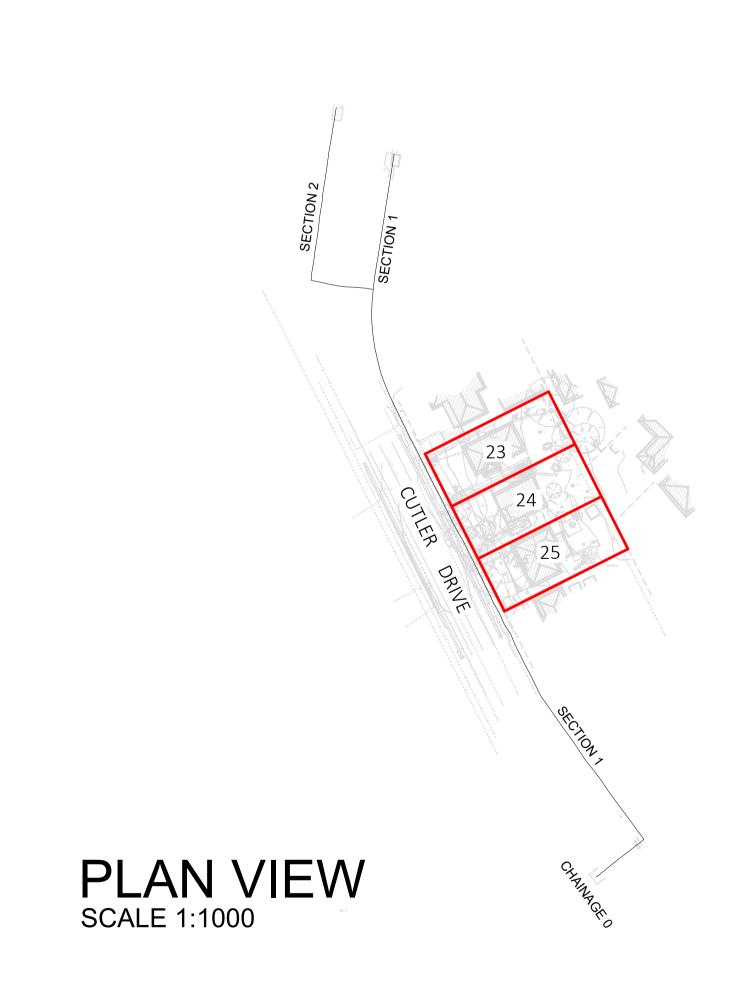
LONG SECTION 1

VERTICAL SCALE 1:100 HORIZONTAL SCALE 1:200

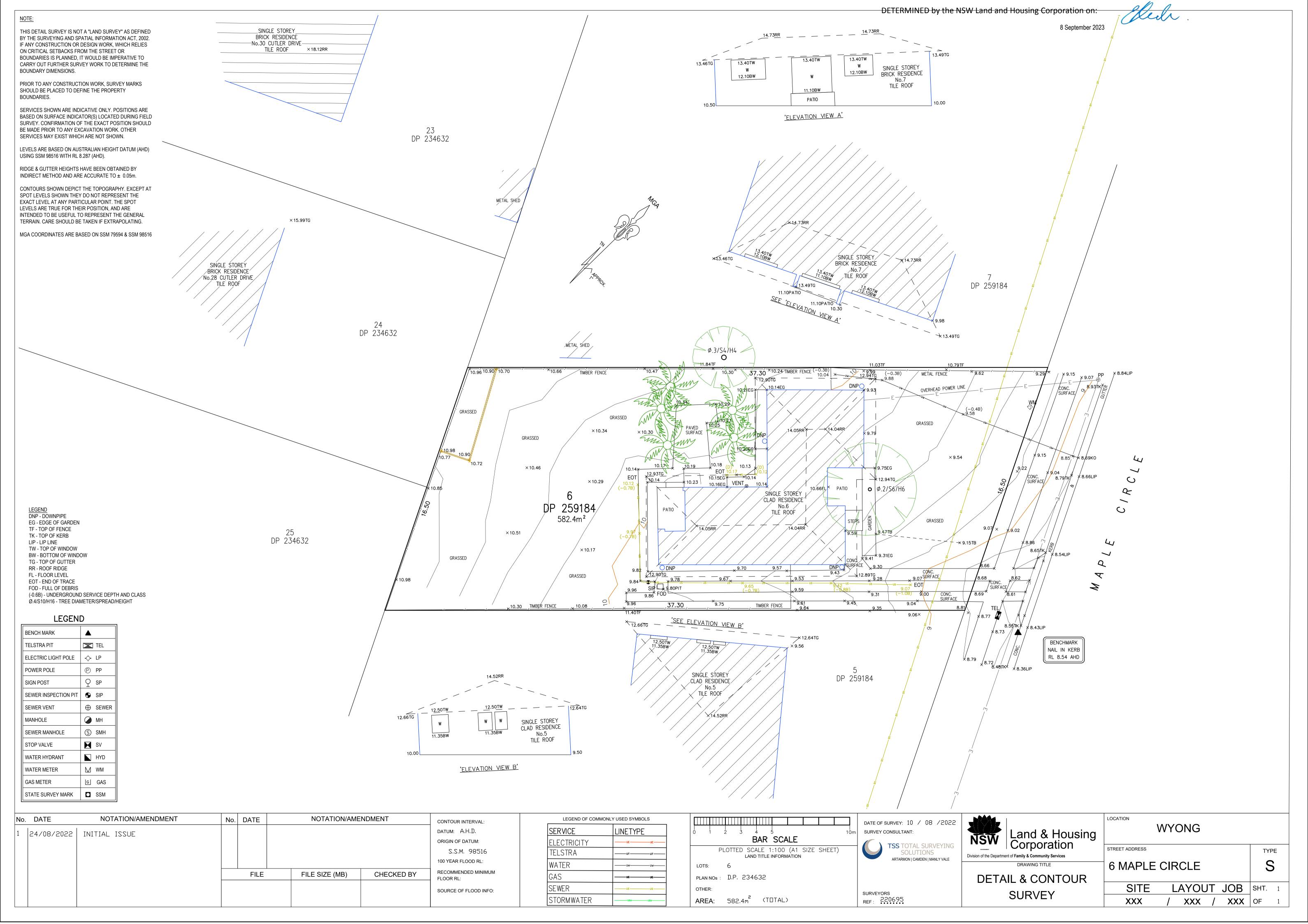


LONG SECTION 2

VERTICAL SCALE 1:100 HORIZONTAL SCALE 1:200



No	DATE	NOTATION/AMENDMENT N	lo. DATE	NOTATION/AME	NDMENT	CONTOUR INTERVAL: 0.5	LEGEND OF COMMONLY USED SYMBOLS	REDUCTION RATIO 1 : A1 SHEET	DATE OF SURVEY: 5-7/ 11 /2021	Family &	LOCATION	
	1	AA				DATUM: RL 15.637	WATER	200 @ A3 SHEET	SURVEY CONSULTANT:	Community Services	WYONG, NSW	
						ORIGIN OF DATUM: PM 17363	SEWER Street Consumer		INDIYA T (08) 9477 4477 F (08) 9477 4499 19 Brennan Way, Belmont WA 6104	GOVERNMENT Land & Housing Corporation		
							ELECTRICITY O/H U/G PP Light Connection Box Distribution	LAND TITLE INFORMATION	GEOSPATIAL F (08) 9477 4499		STREET ADDRESS	TYPE
						100 YEAR FLOOD RL: N/A	TELECOM O/H T Pillar Pillar Identification	DTS: 23-25	19 Brennan Way, Belmont WA 6104 PO Box 746 Belmont WA 6984	DRAWING TITLE	#26-30 CUTLER DRIVE	S
			FILE	FILE SIZE (MB)	CHECKED BY	RECOMMENDED MINIMUM FLOOR RL: N/A	GAS Junction Pit 150 dia Pit 1	AN NOs : DP 234632	E admin@indiyageospatial.com.au www.indiyageospatial.com.au		#20-30 OOTELIN DINIVE	
							525 dia	THER:		LONG SECTIONS	SITE LAYOUT JOB	SHT 4
						SOURCE OF FLOOD INFO: N/A		· · · · · · · · · · · · · · · · · · ·	SURVEYORS Registered Surveyor	-		
							BENCH MARK SURVEY CONTROL MARK SSM A	REA:	REF:		2104954 / 004 / A	OF 1





TSS Sewer Report 6 Maple Cr, Wyong



Service Report

		Job Details				
Client Name	TSS		Client PO N	Number		
Job Number	6 Maple Cr,	Wyong				
Order ID			Date	9		
Job Location	Sewer Repo	ort				
Site Contact Name	Ryan Brown	1	-			
Site Contact Phone Number						
Site Contact Email						
Technician Name	Ricky Renn	ocks				
DBYD Plans Provided by		DBYD Ex	piry Date 12-Aug-202	22		
DBYD Reference Number	3249587	3	-			
All Plans Accounted for?	Yes	Are DBYD Pl	ans Current ?	Yes		
Were Additional Plans Provided?	Yes	Do Plans Indicate S	Services in the Area?	Yes		
		Area Description		•		
Locate of sewer feed						
	Radio Freq	uency Locator	✓			
Equipment used on Site	Ground Pe	netrating Radar				
	Other		✓			
	Transmissi	on Electric (TR)				
	High Voltage Electric (HV)					
	Low Voltag	ge Electric (LV)				
	RMS (RMS)					
	High Press	ure Gas (HPG)				
	Medium Pr	essure Gas (MPG)				
	Low Pressu	ıre Gas (LPG)				
Services Located on this Site	Water (W)					
	Sewer (S)		V			
	Telecomm	unications (TN)				
	Stormwate	r (ST)				
	Unknown S	Service (UP)				
	No Service	s Found				
	Other					
	Quality Lev	vel A	✓			
Overlike Levele	Quality Lev	vel B	✓			
Quality Levels	Quality Lev	vel C				
Has the Customer been walked through the services marked on site?						
Is the Customer aw	are of the G	L-D Services on site	No			
Are Site	Markings C	omplete?	Yes			
		Comments	<u>-</u>			

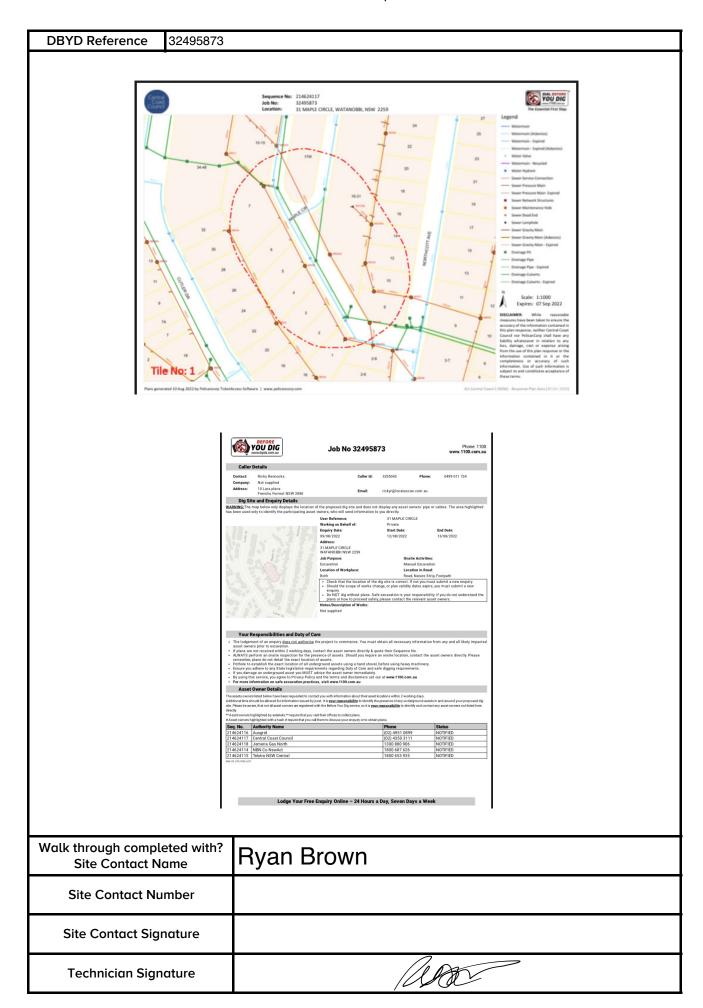
Location 1



Area / Location Scanned

All services depicted below are representative of services located over the entirety of the area requested. QL-A potholing is always advised with all works carried out in the locate area.

	QE-A politicing is always davised with all works carried out in the locate area.							
Image L	ocation	6 maple cr						
Service ID	QL-?	Method of Location	Depth (0.0m)	Comments				
Sewer	QL-A	EML	0.90d					



Definitions

Quality Level A - (meets location accuracy standards for minimum risk when excavating)
Is the highest Quality Level accuracy and consists of positive identification of the attribute and location of a subsurface utility at a point to an absolute spatial position in three dimensions. It is the only quality level that defines a subsurface utility as 'Validated'

Quality Level B - (significant risk reduction)

Provides relative subsurface feature locations in three dimensions. The minimum requirement for QL-B is relative spatial position, this can be achieved via an electromagnetic frequency locating device. An electronic location provided by a DBYD Certified Locator to QL-B standard would have a maximum horizontal tolerance of plus or minus 300mm and a maximum vertical tolerance of plus or minus 500mm.

Quality Level C - (low accuracy and a high risk of damage)

Is described as a surface feature correlation or an interpretation of the approximate location and attributes of a subsurface utility asset using a combination of existing records and site survey of visible evidence — for example you can see the pit lids shown on the plan but the actual position of underground connection between pits is still assumed.

Quality Level D - (least accurate level and if used on its own has a high risk of damage)
QL-D information is generally obtained from existing records provided by utilities as a result of a Dial
Before You Dig enquiry being lodged. In many cases the asset depicted on the plan is in a schematic
format only and intended only to indicate its presence.

Potholing

All services located are a guide only and approximate locations have only been given. These services are only representative of the area located on the specific day in which the works were carried out. It is the resposibility of the person/s undertaking the works to adhere to all duties of care when working in and around the services and areas marked by Locate s&s Pty Ltd. As per the Ward Utilities protocol, potholing is strongly advised with all works carried out in the area located.

Potholing is the means to 'validate' buried assets by physically exposing them. All buried assets should be validated before commencing excavation. Validated assets (potholed and exposed) conform with AS5488-2019 Quality Level A in terms of location accuracy. Dial Before You Dig Member supplied plan information and assets located electronically (e.g. by a DBYD Certified Locator) need also to be potholed and exposed to meet Quality Level A accuracy which is required prior to any excavation.

Any reports generated by Locate s&s will be valid for 30 Days Only.

Disclaimer

This plan includes information describing the location of subterranean features, which were purported to exist at the time of the survey. This information was compiled from a combination of field techniques and available data from cooperating utility authorities. Whilst all care has been taken in the preparation of this plan of survey, Locate s&s cannot guarantee that the plan is without flaw of any kind. Therefore, Ward Utilities expressly disclaims all liability for errors or omissions of any kind whatsoever or from any loss, damage or other consequences, which may arise from any person relying on anything, stated on this plan. In particular, it is recommended that users satisfy themselves as to the location of subterranean features such as utilities, which may or may not be shown on this plan by deploying vacuum excavation techniques.

Electro Magnetic Locacting (EML)

Electromagnetic Locating (EML) is the cutting-edge technology used for tracing the locatable utility lines and metallic pipes as well as for clearing locations of services for any unknown metalic services. Electromagnetic Locators are usually made of two parts, a transmitter and a receiver. The transmitter emits and specified frequency into the utility and the reciever can follow and pin point the location and depth. The transmitter can do this in 3 ways. Direct Connection, Clamping and Induction. You can also use the wand on its own for what is known as a passive scan.

Direct Connection

Direct Connection is where we connect to the service with crocodile clips or through a magnet attached to the clips. This provides a connection directly to the metal in the service and allows us to emit a signal through the utility for the reciever to trace. This is commonly used on metal pipes, trace wires and earth cables.

Using Tracing Rods or Sondes

We can use tracing rods and sondes for when we are dealing with plastic conduits and non mettaliuc pipes. The tracing rod is used commonly for locating Optic Fibre and empty conduiuts, we feed the rod into the conduit until failure and we connect the DC Clips to emit the signal. Sondes are a stand alone transmitter, through the power of batteries they emit a specific signal that the reciver can read and are then attached to a larger rod which is then fed into the service in question. These are commonly used for stormwater and sewer services due to the depth of the utility. Sondes can emit a strong signal and can be read at depths much deeper than the tracing rods.

Clamping

We use the clmap attactment for all of our metalic cable tracing. This method uses a electro magnetic clamp that emits the signal inside the loop which is then concerntrated onto the cable that it surrounds. This method is very effective when locating cables with a copper content. This is commonly used for copper communication cables and all electrical cables that can gain access too.

Passive Scan

A passive scan can come in three different forms.

Firstly, using the transmitter laid on the ground in the approximate location of a service, you can emit a signal into the ground, the signal will then follow the closest transmittable service and the reciever can then trace that signal.

The second option is similar to the first however it is known as a Passive Sweap. This is where one person hovers the Transmitter close to the ground and a second person with the reciever stands parallel with about 30m of distance between them both, they then walk together at the same time sweaping the area for any unknown services.

And Thirdly, using what is known as Power and Radio which is through the reciever only, This is effectivly like a metal detector and can show the operator if there is a signal underground without the need for producing the signal through alternative means.

Although not the most accurate for location and depth, both are necasssary when completing a locating job. They are the last option to find any unknown metalic services.

Ground Penertrating Radar (GPR)

Ground penetrating radar (GPR) is a geophysical locating method that uses radio waves to capture images below the surface of the ground in a minimally invasive way. The huge advantage of GPR is that it allows crews to pinpoint the location of underground utilities without disturbing the ground.

Tolerences

Each of the above methods have a tolerance as a form of location.

Direct Conectting and Clamping has a maximum horizontal tolerance of plus or minus 300mm and a maximum vertical tolerance of plus or minus 500mm.

Passive Scans and GPR have a maximum horizontal tolerance of plus or minus 500mm and a maximum vertical tolerance of plus or minus 1000mm.

Ground Marking Legend (Based on AS5488)						
Asset Type	Colou	r	Service ID			
Transmission Electric	Orange		TR			
High Voltage Electric	Orange		HV / EU			
Low Voltage Electric	Orange		LV / EU			
RMS	Red		RMS			
High Pressure Gas	Yellow		HPG			
Medium Pressure Gas	Yellow		MPG			
Low Pressure Gas	Yellow		LPG			
Water	Blue		w			
Recycled Water	Blue / Purple		RW			
Fire Hydrant Water	Blue / Red		FW			
Sewer	Purple / Cream		S / SEW			
Telecommunications	White		TN			
Optic Fibre	White		ου			
Stormwater	Green		ST / SW			
Unknown Service	Pink		? / UP / UNK			
Redundant Service	Service Colour		Service ID + R			
	Sydney Trains	Marking Legei	nd			
Asset Type	Colou	r	Service ID			
Signalling / Communications	White		Refer to TMA 0497			
External Communication	White		Refer to TMA 0497			
All Voltage Electric	Orange		Refer to TMA 0497			
All Pressured Gas	Yellow		Refer to TMA 0497			
Water	Blue		Refer to TMA 0497			
Sewer	Cream		Refer to TMA 0497			
Drainage	Green		Refer to TMA 0497			
Compressed Air	Purple		Refer to TMA 0497			
Fuel / Flammable Liquids	Red		Refer to TMA 0497			
Unknown Service	Pink		Refer to TMA 0497			





NOTIFICATION PLANS

SENIORS HOUSING DEVELOPMENT 26-30 CUTLER DRIVE, WYONG



CUTLER DRIVE PERSPECTIVE



LOCKED BAG 5022 PARRAMATTA NSW 2124 PHONE No 1800 738 718

https://www.dpie.nsw.gov.au/land-and-housing-corporation

Barry Rush & Associates Pty Ltd

NOTIFICATION - COVER PAGE 26-30 Cutler Drive WYONG LOTS 23, 24 & 25 in DP 234632 REV: DA

DATE:

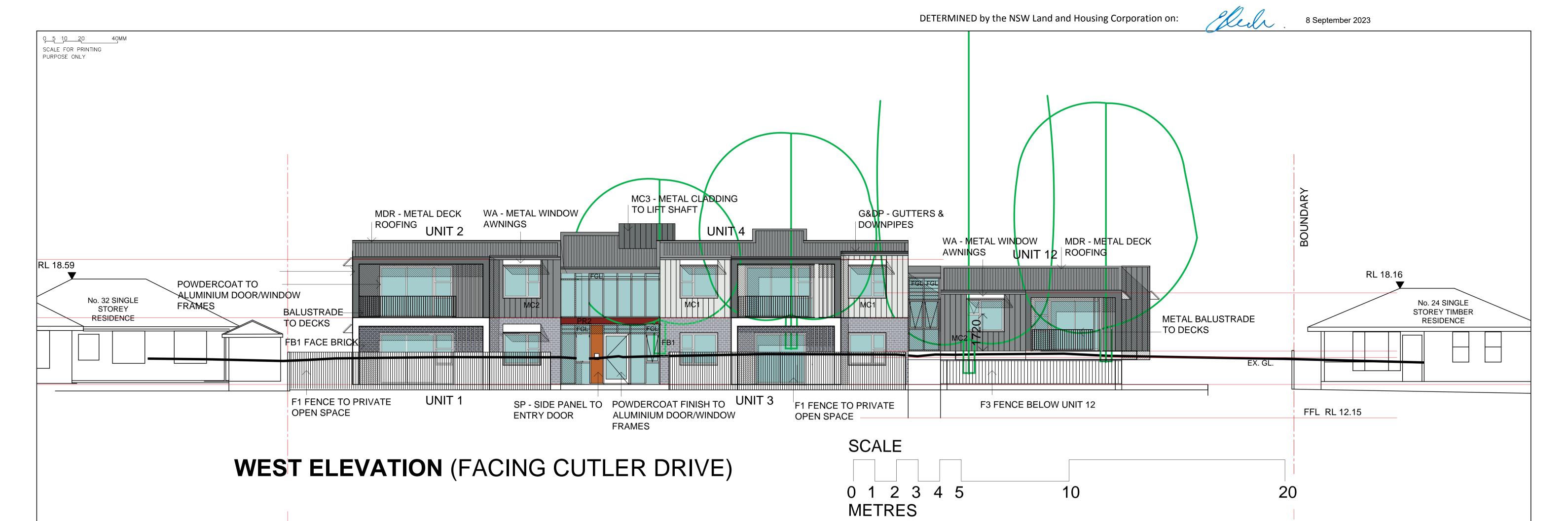
31/01/23

PROJECT NO:

SHEET:

BGYFH

N01



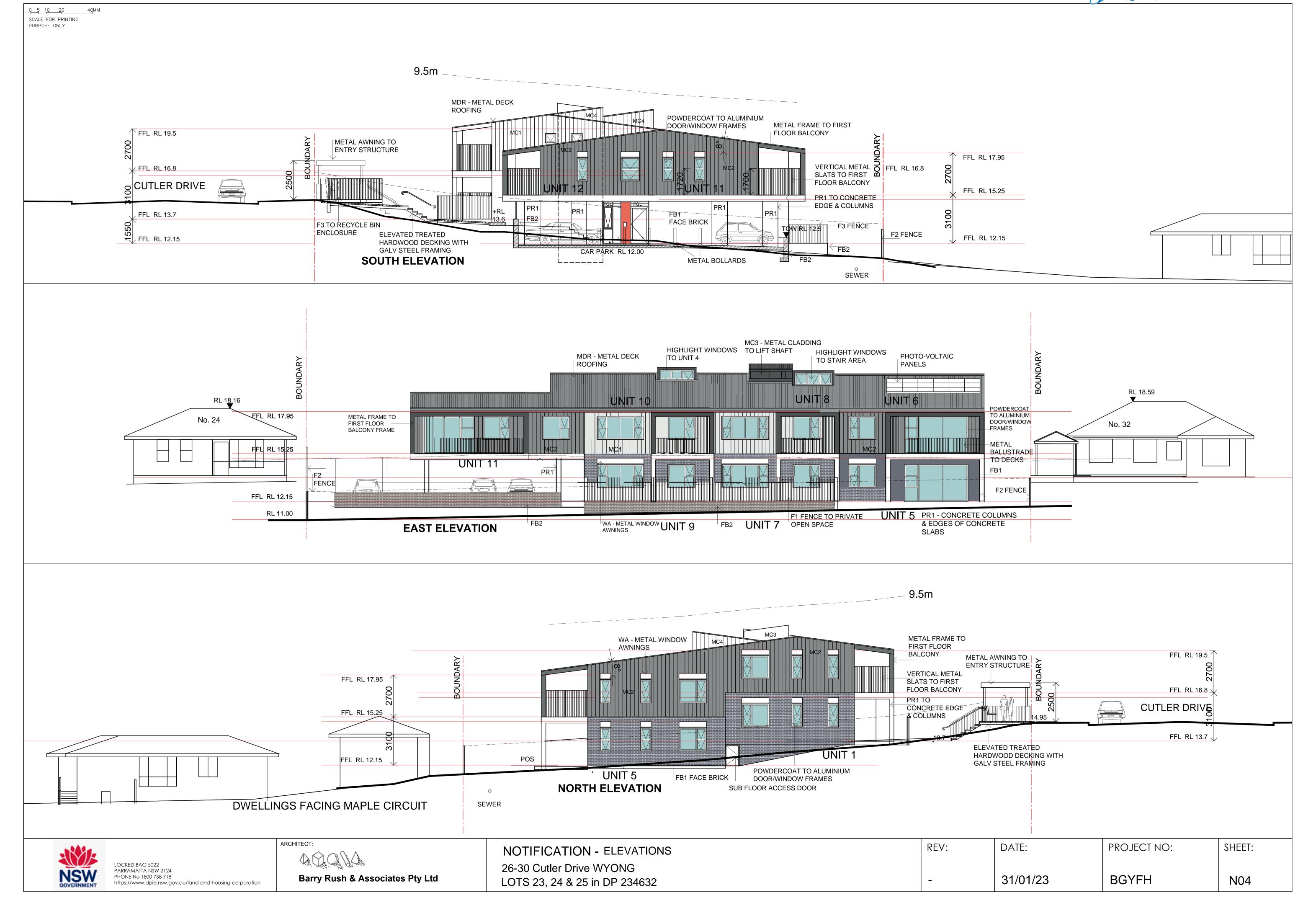
SITE AREA	1688	m²		
TITLE DESCRIPTION	Lots 23, 24 & 2	25 in DP 234632		
PROPOSED DWELLING NUMBERS	12 dwellings - 7 x 2 bedroom and 5 x 1 bedroom			
	Requirement	Proposed		
SETBACKS				
Front Setback	7.5m	9.5m		
Side Setback	3.0m	3m		
Rear Setback	4.5m	6m		
HEIGHT	9.5m to top of roof	6.3m to ceiling 7.8m to top of roof		
FLOOR SPACE RATIO	0.5:1	0.59:1		
PARKING	3 parking spaces	8 parking spaces		



Barry Rush & Associates Pty Ltd

NOTIFICATION - DEVELOPMENT DATA 26-30 Cutler Drive WYONG LOTS 23, 24 & 25 in DP 234632 REV: DATE: - 31/01/23

PROJECT NO: SHEET: N03



ENTRY ELEVATION (FROM CUTLER DRIVE)

FINISHES SCHEDULE

CODE	LOCATION		DESCRIPTION	COLOUR
MDR	ROOFING FASCIA, RIDGE CAPPING FLASHINGS	METAL DECK ROOFING COLORBOND		BASALT
G & DP	GUTTERS & DOWNPIPES		METAL COLORBOND	BASALT
FRAME	BALCONY FRAMES, & ENTRY STRUCTURE AT CUTLER DRIVE		GALV STEEL FRAME WITH METAL COLORBOND CLADDING	MONUMENT
MC1	FIRST FLOOR WALL CLADDING		METAL COLORBOND STANDING SEAM WALL CLADDING	SURFMIST
MC2	FIRST FLOOR WALL CLADDING		METAL COLORBOND STANDING SEAM WALL CLADDING	BASALT
мс3	LIFT OVERUN WALL CLADDING		METAL COLORBOND STANDING SEAM WALL CLADDING	MONUMENT
MC4	SKYLIGHT WALL CLADDING		METAL COLORBOND STANDING SEAM WALL CLADDING	BASALT
BAL	FIRST FLOOR DECKS BALUSTRADE VERTICAL BARS		POWDERCOAT FINISH TO GALV STEEL - SMOOTH FINISH	POWDERCOAT "WHITE"
MC4	MAIN FRONT ENTRY AWNING FASCIA & SOFFIT		POWDERCOAT FINISH TO GALV STEEL - SMOOTH FINISH	POWDERCOAT "MANOR RED"
WA	WINDOW AWNINGS		POWDERCOAT FINISH TO GALV STEEL - SMOOTH FINISH	POWDERCOAT "WHITE"
SP	SIDE PANEL TO MAIN ENTRY DOORS		POWDERCOAT FINISH TO ALUMINIUM PANEL IN WINDOW FRAME	POWDECOAT "TERRAIN"
PR1	LETTER BOXES MASONRY WALL		PAINTED RENDER SMOOTH PAINT FINISH	DULUX "LEXICON HALF"

CODE	LOCATION	DESCRIPTION	COLOUR
D&W	DOOR & WINDOW FRAMES	POWDERCOAT FINISH TO ALUMINIUM FRAMES	SURFMIST
FB1	FACE BRICK WALLS GROUND FLOOR	PGH DARK & STORMY RANGE	LIGHTNING
FB2	FACE BRICK WALLS SITE WALLS & RETAINING WALLS	PGH ESCURA VELOUR RANGE	VOLCANIC
PR1	CONCRETE COLUMNS & EDGES OF CONCRETE SLABS	OFF-FORM CONCRETE SKIM COAT+GRANOSITE SMOOTH PAINT FINISH	DULUX "LEXICON HALF
FC1	SOFFITS TO GROUND & FIRST FLOOR BALCONY & CARPARK CEILING	PAINTED FIBRE CEMENT SHEETING SMOOTH PAINT FINISH	DULUX "LEXICON HALF
HR	SITE HANDRAILS & BALUSTRADES & STEEL FRAMING FOR STAIRS	POWDERCOAT FINISH TO GALV STEEL - SMOOTH FINISH	GALV. STEEL
F1	VERTCAL SLATTED METAL FENCE TO PRIVATE OPEN SPACES 1500mm HIGH	POWDERCOAT FINISH TO GALV STEEL - SMOOTH FINISH	WHITE
F2	SITE SIDE & REAR BOUNDARYS	1800mm HIGH METAL COLORBOND FENCING	BASALT
F3	VERTICAL SLATTED METAL FENCE BELOW UNIT 12	POWDERCOAT FINISH TO GALV STEEL - SMOOTH FINISH	BASALT
F4	VERTICAL SLATTED METAL FENCE TO BIN AREA (CLOSE SLATS)	POWDERCOAT FINISH TO GALV STEEL - SMOOTH FINISH	MONUMENT
T1	TIMBER DECK	TREATED HARDWOOD PLANKS GALV STEEL FRAMES	NATURAL



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Barry Rush & Associates Pty Ltd

NOTIFICATION - SCHEDULE OF FINISHES 26-30 Cutler Drive WYONG LOTS 23, 24 & 25 in DP 234632 REV:

DATE:

20/12/22

PROJECT NO:

FH N05

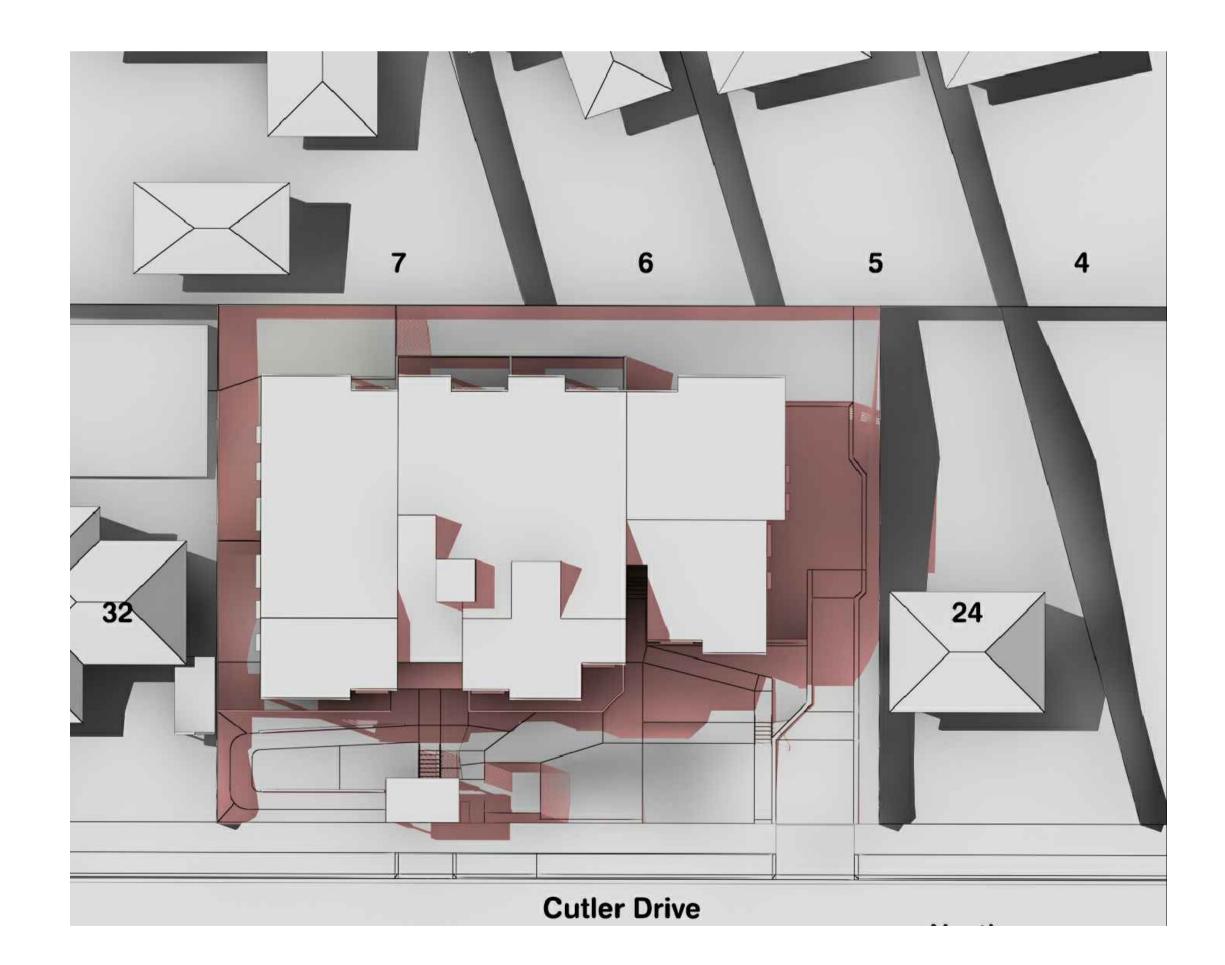
SHEET:

BGYFH

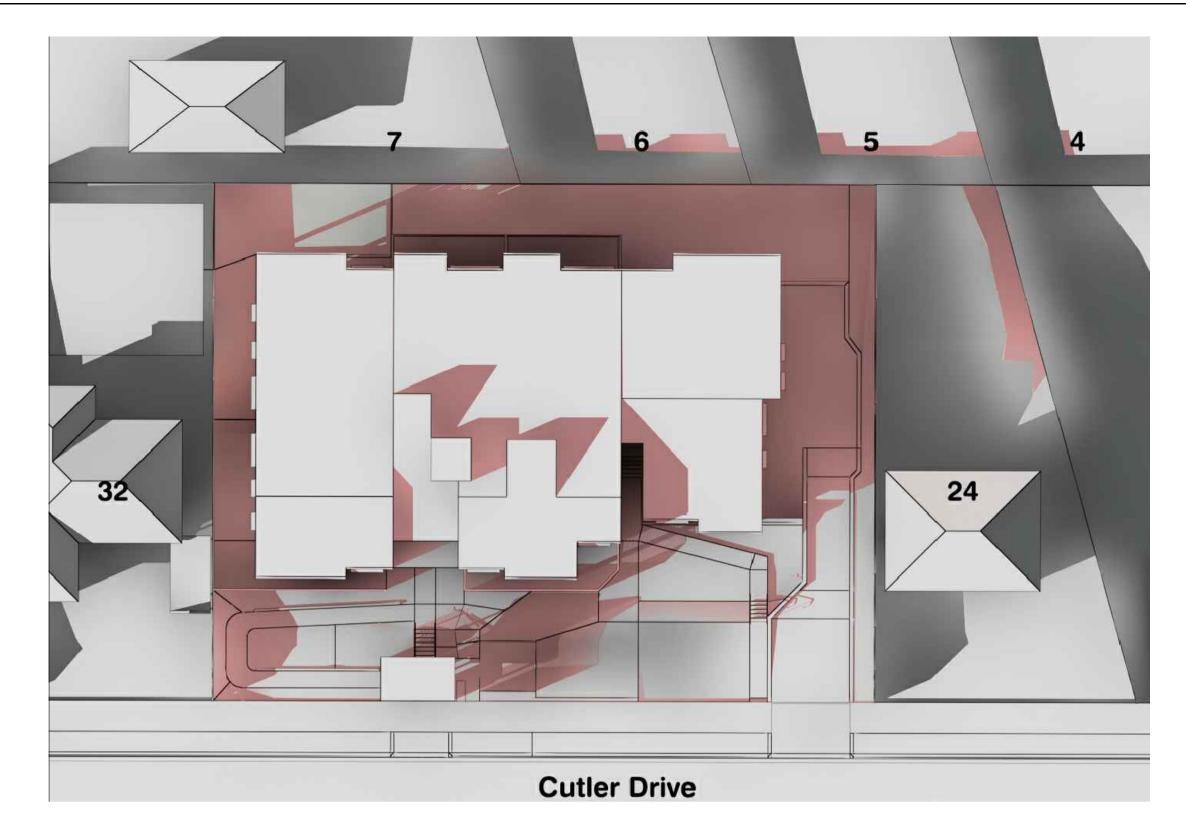
0 5 10 20 SCALE FOR PRINTING PURPOSE ONLY







3 SHADOW DIAGRAM - 3pm June 21



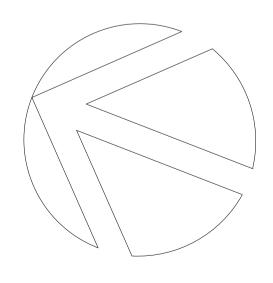
2 SHADOW DIAGRAM - 12noon June 21 - SCALE NTS

LEGEND:

Pink area indicates shadows cast by proposed development



Grey area indicates shadows cast by neighboring properties



NORTH



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ARCHITECT:

Barry Rush & Associates Pty Ltd

NOTIFICATION - SHADOW DIAGRAMS 26-30 Cutler Drive WYONG LOTS 23, 24 & 25 in DP 234632

REV:	DATE:

20/12/22

PROJECT NO:

BGYFH

N06

SHEET: